

Elephant & Castle Opportunity Area Characterisation Study

November 2011

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1 Introduction

- 1.1 The Elephant and Castle Opportunity Area is located within the London Borough of Southwark, to the south of the River Thames (Fig. 1).
- 1.2 This characterisation study forms part of the evidence base to inform the Supplementary Planning Document (SPD) and an Opportunity Area Planning Framework (OAPF) currently being prepared by Southwark Council and the Greater London Authority.
- 1.3 A number of frameworks, strategies and assessments have already been completed for the area, these include the:
 - 1 Elephant and Castle Development Framework, Supplementary Planning Guidance (SPG), 2004
 - 2 Enterprise Quarter Supplementary Planning Document (SPD), 2008
 - 3 Walworth Road SPD, 2008
 - 4 Pullens Estate Conservation Area Appraisal, 2006
 - 5 St George's Circus Conservation Area Appraisal, 2005
 - 6 Elephant and Castle Townscape Assessment, 2005
 - 7 Elephant and Castle Public Realm Strategy, Gehl Architects, 2003
 - 8 Lend Lease, the Council's commercial regeneration partner, is currently preparing a masterplan for the area.
- 1.4 This study characterises the whole of the Opportunity Area to inform the SPD/OAPF. It draws on the previous studies but follows a consistent and cohesive approach and complies with current policy and best practice (the policy context is set out in Appendix 2).
- 1.5 In relation to recording the historic environment, English Heritage's guidance *Understanding Place: Historic Area Assessments in a Planning and Development Context* (June 2010) informed this study. Given the size of the Opportunity Area (122ha) there is variation in the level of integrity of the historic environment. For this reason the level of characterisation required for this study falls between English Heritage's Level 1 Outline Assessment and a Level 2 Rapid Assessment. The study:
 - 1 Provides the local planning authority with baseline information (Level 1)
 - 2 Is based on historic maps supplemented by field observation and reference to a limited number of secondary sources (Level 1) and,
 - 3 Has been carried out on foot over a number of days and an external observation of the whole area has been completed (Level 2).
- 1.6 Once the SPD/OAPF is adopted it will supercede the Elephant and Castle Development Framework SPG (2004), the Enterprise Quarter SPD (2008) and the Walworth Road SPD (2008).
- 1.7 This characterisation study has been completed on a character area basis (distinctive parts of the Opportunity Area that share broad characteristics). This document is split into the following parts:
 - **Part 2.0** provides an overview of the physical context of the Opportunity Area in terms of relationship to surroundings; topography; landuse; and movement.
 - **Part 3.0** sets out the social and economic context;
 - **Part 4.0** provides a brief planning policy context;
 - **Part 5.0** provides an overview of the heritage of the Opportunity Area;
 - **Part 6.0** provides a detailed analysis of the individual character areas; and,
 - **Part 7.0** sets out the potential management framework for the area, informed by the character analysis.

2 Physical Context

Overview of the Opportunity Area

2.1 The Opportunity Area is located within the northern part of the London Borough of Southwark (Figs. 1 and 2). It covers 122ha and is centred around the Elephant and Castle Shopping Centre and the Heygate Estate; it also encompasses Walworth Road to the south, New Kent Road to the east, Newington Causeway to the North and the Imperial War Museum on Lambeth Road to the West.

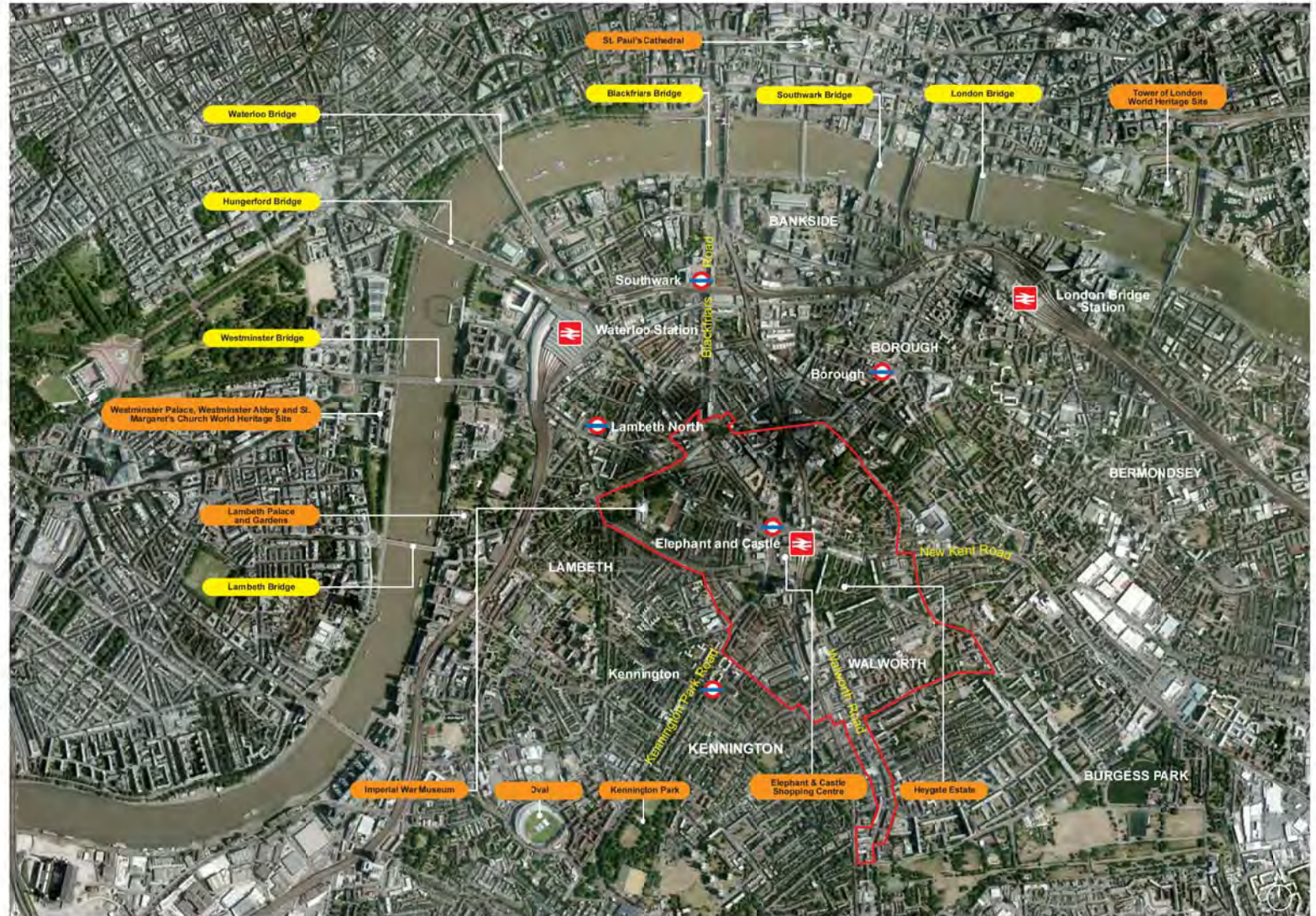


Figure 1: Location of Elephant and Castle Opportunity Area

- 2.2 To its north lies Borough, to its east Bermondsey, to its south Camberwell and Kennington and to its west Lambeth. The western boundary of the Opportunity Area abuts the borough boundary of Lambeth. It is approximately 1km to the south of the River Thames.
- 2.3 The Elephant and Castle Opportunity Area is diverse in character. The centre was heavily bombed in the Second World War resulting in the clearance of the area and the subsequent development of the shopping centre and Heygate Estate in the 1960s and 1970s. This period of redevelopment has led to social, economic and environmental problems. In physical terms, the redevelopment has left a legacy of tall buildings within the centre; monolithic single use structures such as the Shopping Centre and the Heygate Estate buildings; and a traffic dominated road network that is disconnected from adjoining neighbourhoods. Originally two roundabouts to the northern and southern ends of Elephant and Castle dominated the Central Area. However, highways alterations are currently underway and the southern roundabout has been removed.
- 2.4 There are also more historic pockets of development such as St George's Circus, West Square and Pullens Estate which are all designated conservation areas; generally well-established residential areas (Rockingham and Brandon Street); and, Walworth Road, a local high street. In addition to the existing designated conservation area's, the Council is also considering designating two additional conservation areas - Elliot's Row and Larcom Street. The Imperial War Museum, London South Bank University and London College of Communication (part of the University of Arts) are also important institutions within the area.

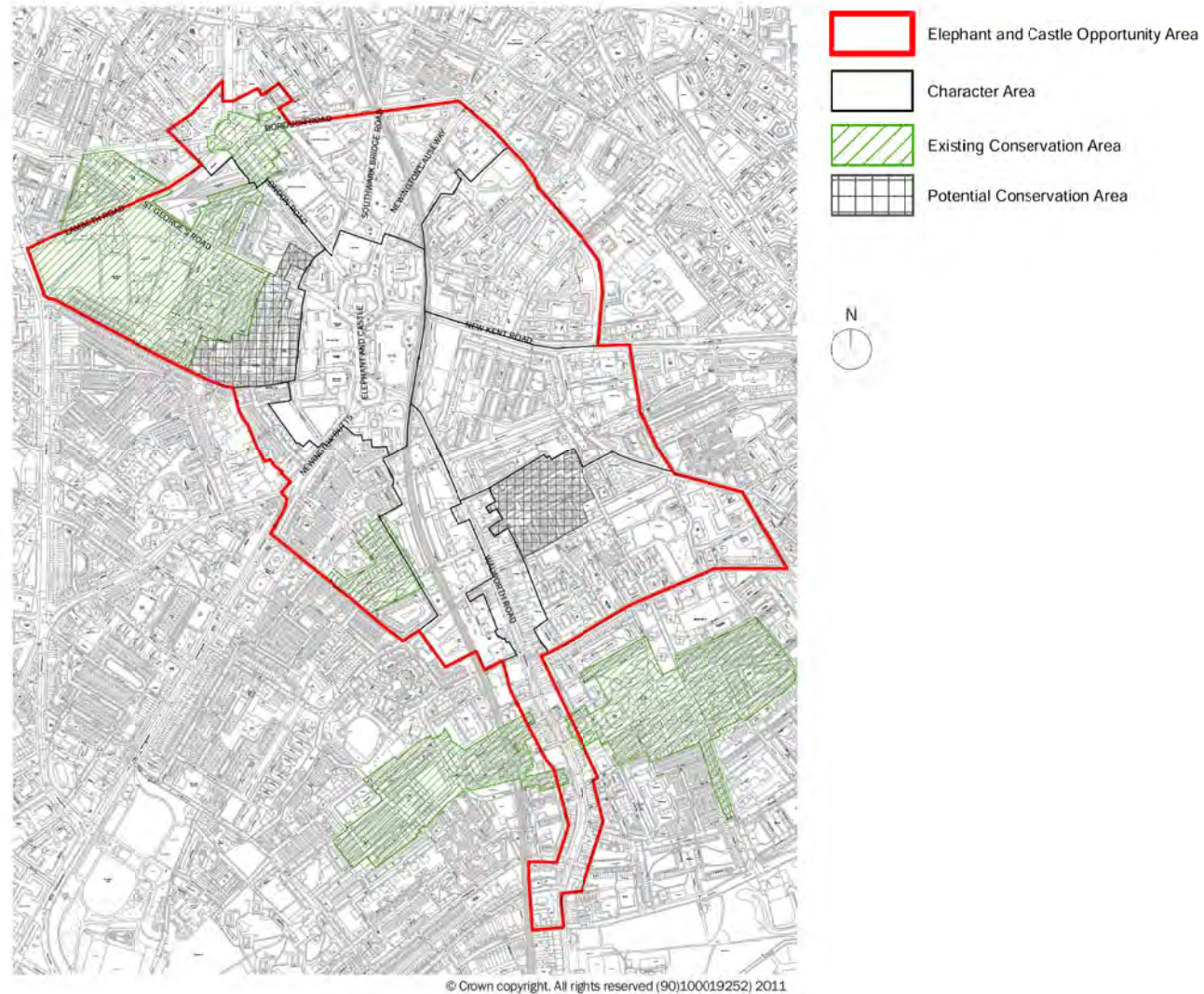


Figure 2: Opportunity Area Boundary

Relationship to its Surroundings

- 2.5 Given its proximity to the River Thames the northern part of Southwark is generally low lying land (less than 5m AOD) (Figs. 1 and 3).
- 2.6 Higher land is located along the southern edge of the Borough including One Tree Hill (approximately 90m AOD) and Dawson Heights (approximately 77m AOD). These high points offer the opportunity for elevated views across the borough and the Opportunity Site towards the river and central London. They are located approximately 5km from the Opportunity Area.
- 2.7 St. Paul's Cathedral (grade I listed) is visible on the skyline when viewed from the south of Southwark, including a view northwards across the Opportunity Area from Camberwell Road.
- 2.8 The low lying nature of the Opportunity Area means that taller buildings within the Opportunity Area may be seen from higher ground in the surrounding area. For this reason, sensitive elements (historic buildings or identified views) within the wider London area may have a relationship with the Opportunity Area. This is given consideration below.
- 2.9 The London View Management Framework SPG (2010) provides protection for London's key views. The relevant LVMF SPG views that need to be considered for the Opportunity Area are summarised in Section 4.0.

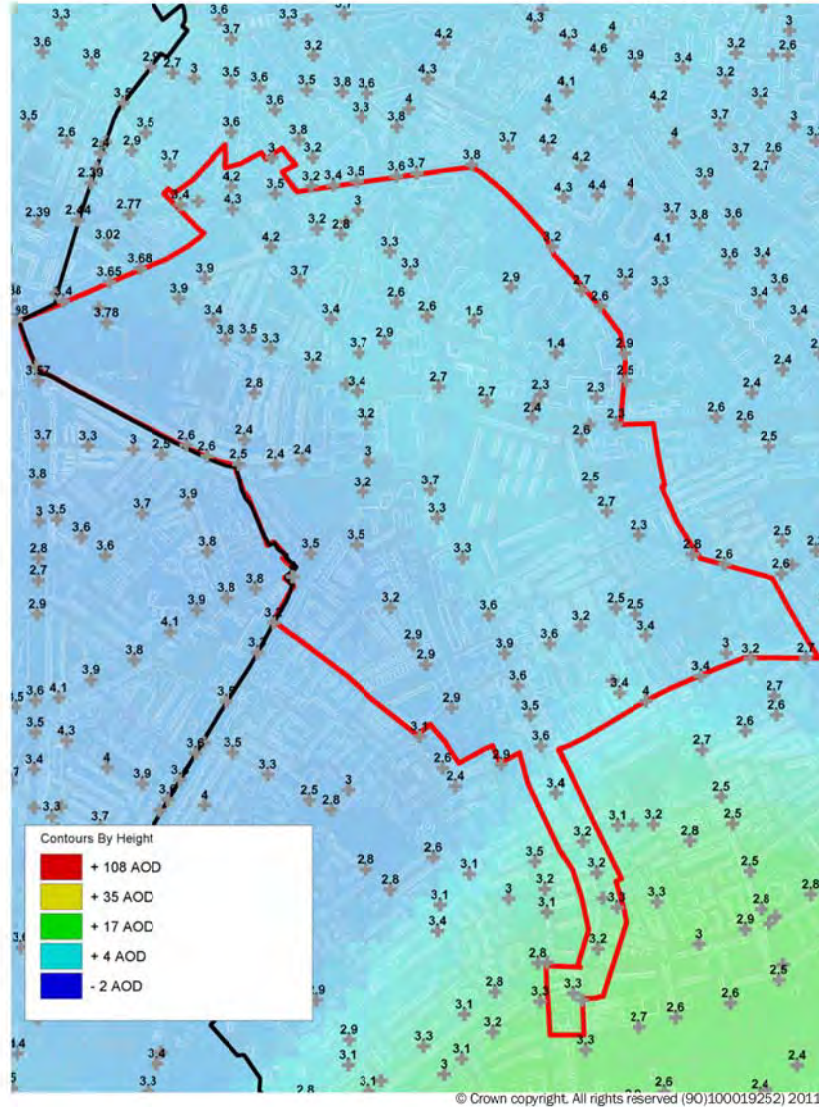


Figure 3: Topography

North of the River Thames

- 2.10 On the north side of the river the land rises in height and St. Paul's Cathedral lies approximately 2km from the Opportunity Area at approximately 30m AOD.
- 2.11 The Westminster Palace, Westminster Abbey and Saint Margaret's Church World Heritage Site lies less than 2km to the west of the Opportunity Area on the northern bank of the River Thames at around 10m AOD in height. Special consideration will need to be given to the impact of any new tall buildings introduced within the Opportunity Area on the Outstanding Universal Value (OUV) of the World Heritage Site (WHS) and its setting. Where proposals could impact upon the setting of the WHS, the OUV should be carefully assessed and adverse impacts avoided.
- 2.12 Further northwards again the land rises at Parliament Hill/Muswell Hill/Alexandra Park providing views across London to the south (approximately 11km from the Opportunity Area). From the viewing platform at Alexander Palace tall buildings within the Opportunity Area may be visible.

Lambeth to its West

- 2.13 The proximity of the Opportunity Area to the London Borough of Lambeth means that sensitive elements with Lambeth, such as historic buildings and views, may have a relationship with the Opportunity Area.
- 2.14 To the immediate west of the Opportunity Area, views of taller buildings introduced within the Opportunity Area may be evident when looking eastwards from Lambeth Palace Gardens (grade II listed) and the adjoining (non-designated) Archbishop's Park, which lie approximately 1km from the Opportunity Area.
- 2.15 In terms of adjoining Conservation Areas, the Renfrew Road Conservation Area lies to the east of the Opportunity Area. The Renfrew Road Conservation Area Statement (2007) notes the view north along Renfrew Road terminates with the dome of the Imperial War Museum. Views eastwards from this conservation area are dominated by residential tower blocks.

River Prospects

- 2.16 The generally higher north bank and bridges across the river (Lambeth Bridge, Westminster Bridge, Hungerford Bridge, Waterloo Bridge, Blackfriars Bridge, Southwark Bridge and London Bridge) also provide elevated locations offering river prospect views of development fronting the southern side of the river. Whilst development on the southern bank generally screens the Opportunity Area from view, tall buildings introduced within the Opportunity Area may be visible beyond. Consideration will need to be given to the impact of any new tall buildings on the settings of significant historic buildings such as Lambeth Palace, County Hall, the Royal Festival Hall, other highly graded listed buildings and riverside conservation areas.

Topography of the Opportunity Area

- 2.17 Within the Opportunity Area the lowest ground (around 2.3-3m AOD) is found to the western and eastern edges of the area. Slightly higher ground is located to the centre of the Opportunity Area (around 3.0-3.9m AOD) with the highest point to the north at just over 4m OAD.
- 2.18 The low lying nature of the area means that historically roads were generally constructed in straight lines (without the need to avoid intervening topographical features). This means that there are existing (unplanned) vistas to existing and emerging London landmarks.

Land Use

- 2.19 The character areas described in Part 6.0 have been established based on townscape that contain similar land uses and associated building typologies. An overall land use map is provided at Fig. 4.
- 2.20 The Central Area contains a mix of uses typically found within urban Central Areas including retail, office, residential, educational (London College of Communication), cultural and leisure (Coronet cinema, ten-pin bowling, leisure centre) and community uses (the Metropolitan Tabernacle). Ethnic businesses (for example Latin American and Eastern European cafes/restaurants) are also a feature of the area. Transport uses - mainline and underground stations, key bus routes and vehicular routes - contribute to the particular character of the Central Area. The busy transport interchange, cultural facilities and restaurants support an evening economy.
- 2.21 To the north of the Central Area, the Enterprise Quarter is dominated by London South Bank University buildings including libraries, teaching space, administrative buildings and halls of residence. Other, non-university, office and commercial uses also feature within this area. There are a number of significant employers on Borough Road including the market research company, MORI. The Ministry of Sound on Gaunt Street within the Enterprise Quarter also contributes to the late-night economy of the central Elephant and Castle area.
- 2.22 To the south of the Central Area, a stretch of land which historically contained light industrial uses but has more recently been developed with mixed-use blocks comprising residential on upper floors with commercial uses on the ground floors, is located either side of the railway viaduct. To the east of this rail corridor, the linear Walworth Road character area comprises predominantly retail and service uses with residential uses on upper floors.

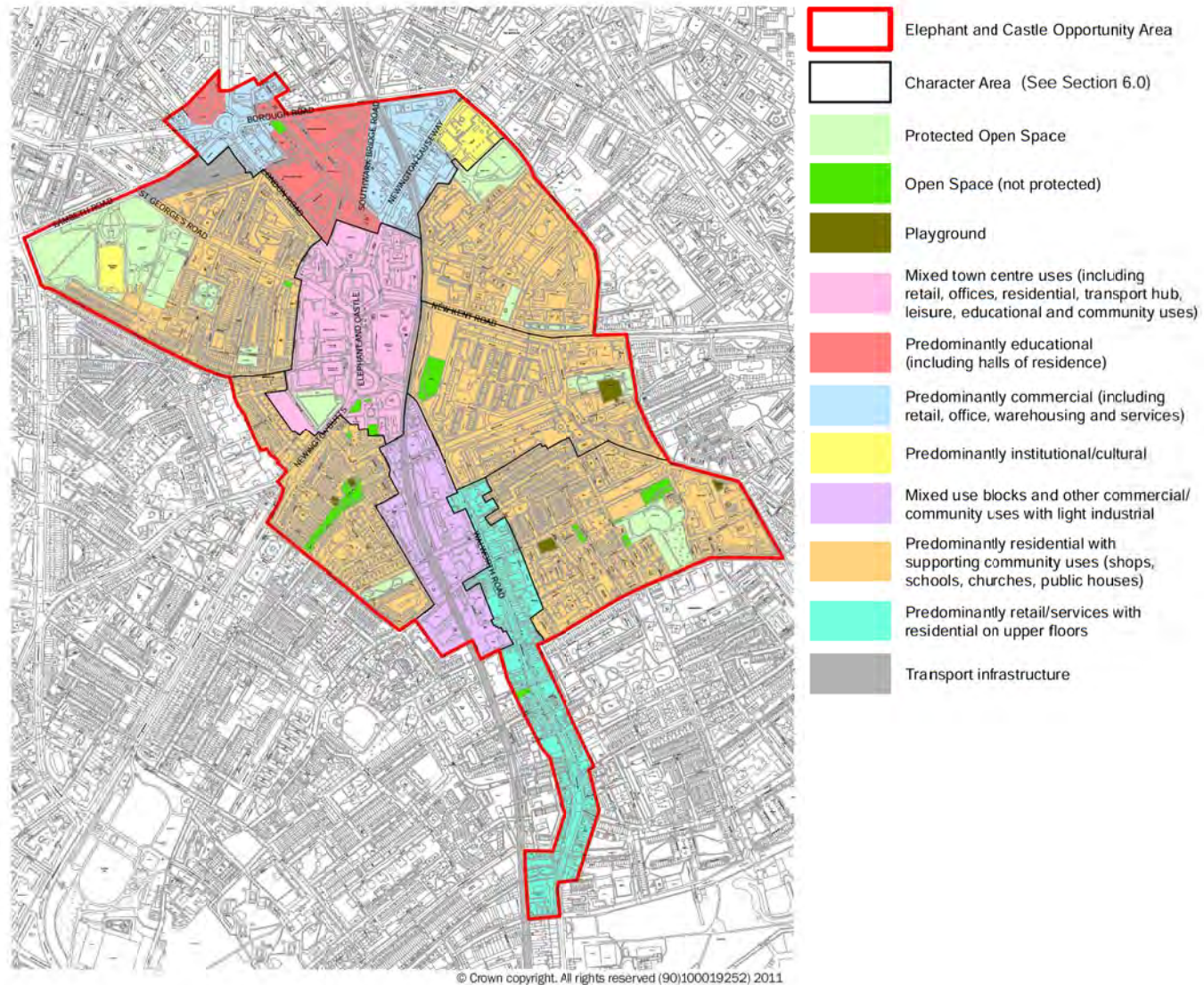


Figure 4: Predominant Land Uses

2.23 Predominantly residential areas (Pullens, West Square, Rockingham, Heygate Estate and Brandon Street) are located to the east and west peripheries of the Opportunity Area. In terms of tenure, large tracts of the residential housing are within local authority/housing association ownership, with smaller pockets of private housing (such as the housing around West Square and within the Larcom Street area).

Movement Network

Primary and Secondary Vehicular Routes

- 2.24 Today's primary routes through the area (A roads) include Newington Causeway, Southwark Bridge Road, Borough Road, London Road, Garden Row, St. George's Road, Elephant and Castle, Newington Butts and Walworth Road (Fig. 5). These were some of the first roads to be laid out in the area, linking London Bridge and Southwark to the south, and the majority of them are seen on mid 18th Century mapping (Figs. 10 and 11).
- 2.25 Newington Butts, Elephant and Castle and New Kent Road form part of London's inner ring road/congestion charge boundary. Entry to the routes to the north are subject to a charge on weekdays.
- 2.26 A network of secondary routes, generally dating from the street network laid out in the first half of the 19th Century, interlink with the major routes throughout the area.

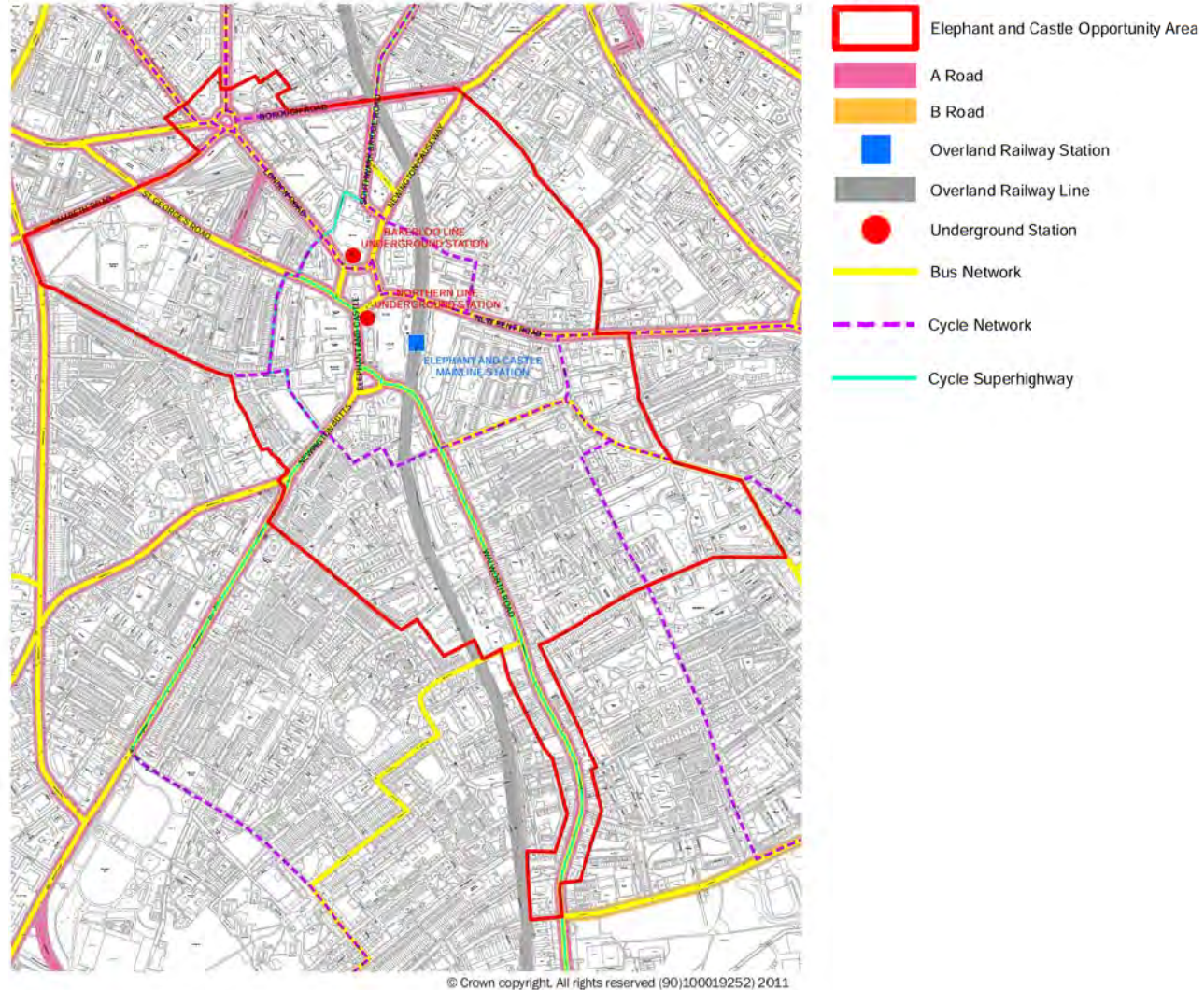


Figure 5: Movement Network

2.27 The Central Area is dominated by the road layout that was introduced in the 1960s. However, the double roundabout design is now being reworked. The southern roundabout and pedestrian underpasses are in the process of being removed and replaced by a signalised junction to improve movement through the area; to provide at-grade pedestrian links; and, to reduce the current traffic dominated environment. The highway has been reduced and the area of public realm has been increased on the north and south sides of Walworth Road reducing the dominance of traffic.

Public Transport

- 2.28 In addition to the vehicular network, mainline and underground train networks also assist the movement of people through the area and around London. However, the overland railway viaduct, aligned north to south, bisects the Opportunity Area creating a significant barrier to movement in an east to west direction. Primary and secondary roads pass under the viaduct making bridges key features of these streets.
- 2.29 The mainline railway station is located on the eastern side of the Elephant and Castle Shopping Centre, this provides connections to Sutton and Swanley/Sevenoaks in the south and east (Southeastern trains) and St. Pancras International, Luton and Bedford northwards (Thameslink).

2.30 The Bakerloo Line terminus is located on the northern side of the northern Elephant and Castle roundabout with the Northern Line station located on the southern side.

2.31 The bus network follows the major routes, with the exception of Garden Row (a major road not on a bus route) and Gaunt Street (not a major route but is a bus route).

2.32 The convergence of vehicular routes, including the buses, and the underground stations creates a transport hub within the centre of the Opportunity Area. The mainline railway station is, however, concealed to the rear of the shopping centre, its presence is poorly marked and it is difficult to locate. The overly-dominant road layout, pedestrian underpasses providing access under the roads and to the shopping centre, and the poor legibility of the shopping centre impedes interchange between the modes. The Council's vision is to create a fully integrated transport hub that would include improved northern line and mainline stations that are integrated in design and access terms with the wider transport network. This would address many of the current deficiencies of movement within the area and is already underway via the removal of the southern roundabout.

Primary and Secondary Pedestrian Routes

- 2.33 Intensive pedestrian movement occurs in the Central Area around the transport interchanges (between the railway, underground and bus networks) and the shopping centre. The uses within the Central Area and the enterprise quarter to the north - educational, retail, leisure and commercial uses - contribute to pedestrian activity throughout the day and into the evening.
- 2.34 The retail provision on the Walworth Road (including high street supermarkets and East Street market) also creates high levels of pedestrian activity along Walworth Road.
- 2.35 In general, the highest pedestrian footfall follows some of the primary vehicular routes: Newington Causeway, London Road, St George's Road, Elephant and Castle and Walworth Road.
- 2.36 The secondary pedestrian routes are generally located within the peripheries of the Opportunity Area to facilitate pedestrian movement around these predominantly residential character areas.
- 2.37 Significant barriers to pedestrian movements are caused by the railway viaduct, the heavily trafficked road network within the Central Area and the built form of the latter half of the 20th Century which has also contributed to a loss of legibility and lack of permeability throughout the area. This can most clearly be seen within the Newington Estate, the Heygate Estate (where the slab blocks interrupt pedestrian movement from south-east to north) and through and around the Elephant and Castle Shopping Centre and London South Bank University campus.

3 Social and Economic Context

- 3.1 The Core Strategy notes that whilst some areas of Southwark are relatively wealthy, there are high levels of poverty in other areas including Elephant and Castle .
- 3.2 The most up to date census data was gathered in 2001. Until the first results from the 2011 census are released in September 2012, the 2001 census provides the most consistent set of data to understand the social and economic background of an area. However, this data must be used with some caution due to its age and because major change is underway within the area with the residents of the Heygate Estate decanted for its redevelopment.
- 3.3 The 1960s and 1970s redevelopment of large sections of the Opportunity Area had a significant effect on the social and economic development of the area in the subsequent decades. The 2001 Census data suggests 16,620 people lived within the Opportunity Area comprising a mixed population dominated by white (56%) and black (27%) ethnic groupings. Analysis of the workforce showed that out of 12,632 people aged between 16 and 74, 7,860 (62.22%) were economically active, slightly lower than the Southwark average of 65.86%. The workforce was relatively evenly split between junior management and professional roles, more senior managerial roles and semi skilled manual workers. Skilled manual workers made up approximately 10% of the economically active population. A further 19.71% of 16-74 year olds fell within the lowest grade workers or were unemployed or on state benefits (Borough average is 18.55%).
- 3.4 The Opportunity Area compared relatively favourably with the rest of the Borough in terms of degree level education (31.72% vs. the Borough average 34.84%) although almost one third of residents had no or few qualifications.
- 3.5 Car and van ownership within the Opportunity Area was lower than across the Borough as a whole, 60.72% of households did not have a car or van compared to 51.91% across Southwark. This may be a result of the area's accessibility to public transport.
- 3.6 The physical environment of the Opportunity Area appears to play an integral role in the current social environment where physical barriers created by the heavily trafficked road layout and railway lines contribute significantly to difficulties with pedestrian movement and reduce the quality of the public realm and environment for residents and visitors. This results in an environment that exacerbates the social and economic divisions between neighbourhoods in terms of housing quality, and access to jobs and services.
- 3.7 By way of an overview it can be seen that:
 - 1 There was a great diversity in the area in a socio-economic context
 - 2 Much change has and will occur as a result of the Heygate Estate regeneration. The estate currently comprises local authority housing. This will be replaced by a more balanced mix of affordable housing and market housing with other supporting uses.
 - 3 There are existing pockets of relative wealth. These are generally centred around the West Square Conservation Area and the proposed Larcom Street Conservation Area.
 - 4 Areas of poverty can be found in the large monolithic estates.
 - 5 The physical barriers created by the estates, the road network and railway viaduct reinforce feelings of social and economic disconnection.



Photo 1: Old and new - The Strata Tower beyond the Heygate Street (see page 32 for location of photo)

4 Planning Policy Context

4.1 This section summarises the key planning policies relevant to this study, more detail is provided in Appendix 2.

Draft Replacement London Plan (October 2009, including minor alterations (Dec. 2009 and Sept. 2010))

- Annex 1, Table A.1.1 provides the most up-to-date growth potential figures for the Elephant and Castle Opportunity Area (identified for the purposes of the London Plan as 88ha) of 5,000 jobs and a minimum of 4,000 new homes.

Core Strategy (April 2011)

- Paragraph 4.27 states the Council will stimulate 440,000sqm of new development (up to 45,000 sqm of new shopping and leisure floor space and 25,000-30,000 sqm of business floor space) in the heart of the area. And will meet the target of 4000 new homes (minimum of 1,400 affordable housing units) and 5,000 new jobs. This could involve tall buildings on some sites in the core area.
- Paragraph 4.28 sets out how a highly integrated and efficient public transport hub will be created by an improved Northern line station; enhanced conditions for bus and rail users; improved interchanges; removal of subways; minimum level of car parking and an improved street layout including public open spaces.
- Core Strategy Policy 3: defines Elephant and Castle/Walworth Road as a Major Central Area with existing retail floorspace of 69,000sqm. An additional 45,000sqm of shopping and leisure space will be provided focusing on non-food shopping and strengthening its role as a Major Central Area.

- Strategic Policy 5: indicates 4,000 net new homes will be provided. The Elephant and Castle Opportunity Area falls within the Central Activity Zone (CAZ). For the CAZ residential density will be expected to be between 650 to 1,100 habitable rooms per hectare. Within the Opportunity Area the maximum densities may be exceeded when developments are of an exemplary standard of design.
- Strategic Policy 6: requires a minimum of 1,400 affordable housing units in Elephant and Castle Opportunity Area between 2011 and 2026.
- Strategic Policy 10: protects existing business floorspace and supports the provision of around 25,000sqm - 30,000sqm of additional business floorspace in the CAZ and Central Areas.
- Strategic Policy 12: seeks to achieve high design standards for buildings and public spaces, by conserving or enhancing heritage assets and their settings and ensuring the height and design conserves and enhances strategic views and local views. Tall buildings could be appropriate in the Elephant and Castle Opportunity Area.

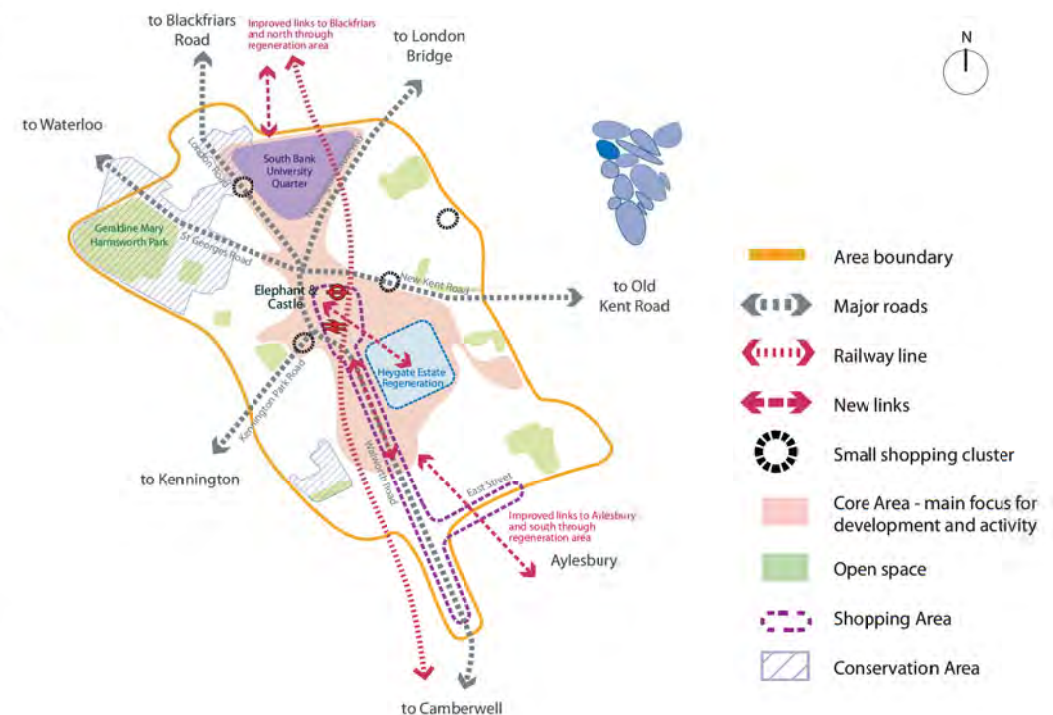


Fig. 6 Opportunity Area Map as included in Southwark Council's Core Strategy (2011)

Southwark Plan (2007)

- 1 Policy 3.11 Efficient use of land: Development should maximise the use of land whilst protecting amenity and responding to local context.
- 2 Policy 3.12 Quality in design: Developments should achieve a high quality of architectural and urban design.
- 3 Policy 3.13 Urban design: Consideration must be given to height, scale and massing; urban structure, space and movement; townscape and local context; site layout; streetscape; landscaping; and, inclusive design.
- 4 Policy 3.14 Designing out crime: Design solutions should incorporate natural surveillance; street network designs that are permeable and legible; clear and uniform signage; effective street lighting; and clearly defined boundaries.
- 5 Policy 3.15 Conservation of the historic environment: Development should preserve or enhance the special interest or historic character or appearance of buildings or areas of historical or architectural significance.
- 6 Policy 3.16 Conservation areas: Development should respect the context of the conservation area; use high quality materials; retain traditional features of interest; and, avoid uncharacteristic design details such as uPVC.
- 7 Policy 3.17 Listed buildings: Development proposals involving a listed building should preserve the building and its features of special architectural or historic interest.
- 8 Policy 3.18 Settings of listed buildings, conservation areas and world heritage sites: Permission will not be granted for developments that would not preserve or enhance:
 - i The immediate or wider setting of a listed building; or
 - ii An important view(s) of a listed building; or
 - iii The setting of the Conservation Area; or
 - iv Views into or out of a Conservation Area; or
 - v The setting of a World Heritage Site; or
 - vi Important views of /or from a World Heritage Site.
- 9 Policy 3.19 Archaeology: development affecting sites within Archaeological Priority Zones (APZs), shall be accompanied by an archaeological assessment, including an assessment of the impact of the proposed development.
- 10 Policy 3.20 Tall buildings: may be permitted in the Central Activity Zone (particularly in opportunity areas). Buildings over 30m tall should:
 - i Make a positive contribution to the landscape; and
 - ii Be located at a point of landmark significance; and
 - iii Be of the highest architectural standard; and
 - iv Relate well to its surroundings, particularly at street level; and
 - v Contribute positively to the London skyline as a whole consolidating a cluster within that skyline or providing key focus within views.
- 11 Policy 3.22 Important local views: The LPA will seek to protect and enhance identified views, panoramas, prospects and their settings that contribute to the image and built environment of the borough and wider London.
- 12 Proposal Site 39P on the Southwark Proposals Map has been saved. This identifies the core of the Opportunity Area. The schedule included in Appendix 3 of the Southwark Plan lists the uses sought for the area as: a range of D Use classes including social, educational, health, community and leisure facilities, a new secondary school, a healthy living centre, leisure centre, a library and new nursery provision; mixed tenure new homes; new retail and A Use Class together with additional complementary Central Area uses including cultural/entertainment uses, leisure, offices, hotels and public facilities; and, B1 space including incubator units, managed workspace and accommodation for small businesses and the cultural industry sector (the exact quantum for the various uses has been superseded by the Core Strategy). Transport improvements are also required.
- 13 Other Proposal Sites within the Opportunity Area that have been saved through the Core Strategy are:
 - i Proposal Site 9P: Library Street Neighbourhood Office and Land between St. James Street and Milcote Street
 - ii Proposal Site 38P: Prospect House Playground, St. George's Road
 - iii Proposal Site 40P: Albert Barnes House, New Kent Road
 - iv Proposal Site 49P: Manor Place Depot
 - v Proposal Site 50P: Land bounded by Brandon Street and Larcom Street
 - vi Proposal Site 51P: Nursery Row Park car parks, Wadding Street and Brandon Street.

London View Management Framework SPG (2010)

- 1 The Elephant and Castle Opportunity Area falls within the protected vistas of two designated views within the London View Management Framework SPG (LVMF SPG):
 - i View 1 from Alexandra Palace the opportunity site lies to the very west of the Landmark Background Assessment Area of Assessment Point 1A.2, which is the best position from which to appreciate St Paul's Cathedral. Development within this area should not exceed 52.1m AOD which is the indicative height of the threshold plane.
 - ii View 23 from the bridge over the Serpentine, assessment Point 23A.1: from the centre of the bridge represents views eastwards towards the far end of the lake and the

townscape beyond. The Opportunity Area falls within the Landmark Background Assessment Area and the indicative height of the threshold plane for this area is between approximately 60 and 65m AOD.

2 The Background Assessment Areas of these two views are shown on the building heights map (Fig.7). Proposals for tall buildings within the Opportunity Area will need to give consideration to the guidelines provided within the LVMF SPG to protect these key views, in particular the acceptable height thresholds.

3 In addition, development proposals including tall buildings within the Opportunity Area should give consideration to the following townscape and river prospects that may be affected by development proposals:

- i View 19A Lambeth Bridge: downstream.
- ii View 20A Victoria Embankment: between Westminster and Hungerford Bridges.
- iii View 20B Victoria Embankment: between Waterloo and Hungerford Bridges.

4.2 The Mayor is currently consulting (until October 11) on an additional view for inclusion within the LVMF SPG. The view is looking towards the Houses of Parliament from the western side of Parliament Square (equivalent to view 37 identified in Westminster Council's Metropolitan Views SPD Consultation Draft (2007)). The guidelines will seek to protect the silhouette of the Houses of Parliament. Proposals for tall buildings within the Opportunity Area will need to give consideration to the impact of development on this view.

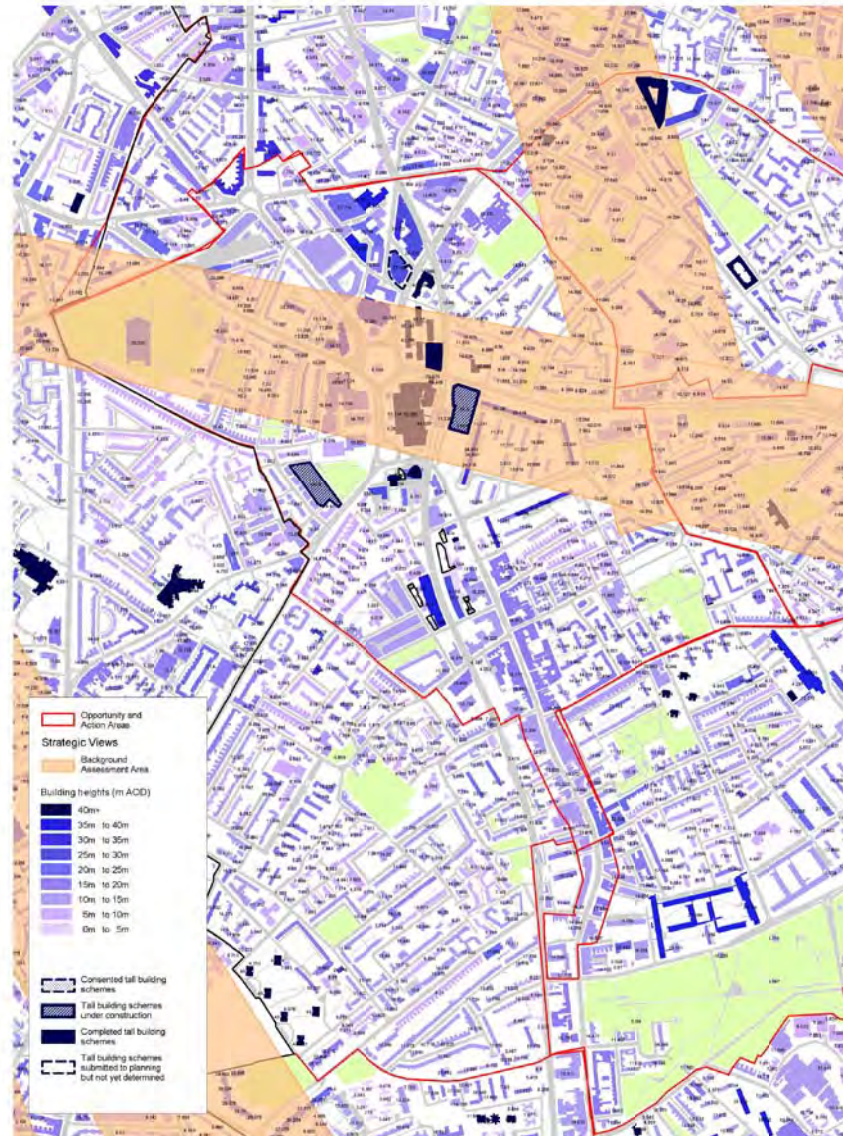


Figure 7: Map showing LVMF Background Assessment Areas

Elephant and Castle Development Framework SPG (2004)

- 4.3 This was adopted in 2004 and includes an illustrative masterplan. A new SPD/OAPF is currently being prepared which will replace the 2004 SPG (this characterisation study forms part of the evidence base for the new SPD/OAPF). Whilst target figures have been amended and the illustrative masterplan is likely to be superseded within the new SPD/OAPF, some of the broad principles remain (subject to negotiation with other stakeholders and viability considerations). Lend Lease, the Council's regeneration partner, is currently preparing a masterplan for the area and will be submitting a planning application for the first phase of development in autumn 2011. The broad principles for regeneration of the Central Area and Heygate Estate comprise:
- 1 Extending Walworth Road to the north to create a continuous high street. Tall buildings may be accommodated within the heart of the Central Area.
 - 2 Potentially removing the underpasses to the northern roundabout and replacing with surface crossing points to improve the pedestrian environment and facilitate the interchange between transport nodes.

- 3 Improving east-west links, access to the existing mainline station and the station environment. This may include demolition of the brick infill walls to the viaduct arches.
- 4 Potential introduction of a new mixed-use public space (envisaged in the illustrative masterplan as a market square) to the east of the viaduct drawing people through from the west.
- 5 A new residential quarter, potentially including a town park, to replace the Heygate Estate.
- 6 The opportunity to remodel Heygate Street to create a tree-lined street, which will provide space for cars, buses, cycle tracks and generous pavements.
- 7 Improvements to St. Mary's Churchyard through refurbishment (completed) and introduction of buildings to enclose the northern and western sides.

Walworth Road SPD (2008)

- 4.4 An SPD was prepared for the northern part of Walworth Road. The area included:
- 1 120 to 138 Walworth Road (the former petrol station and Burger King)
 - 2 140-152 Walworth Road (John Smith House, grade II listed)
 - 3 What was then the vacant site on the corner of Amelia Street and Robert Dashwood Way (since developed)
- 4.5 The SPD provides guidance on:
- 1 appropriate land uses, such as residential retail and community uses
 - 2 building heights
 - 3 residential densities
 - 4 design guidance setting how development should fit in and respond to listed buildings
 - 5 section 106 planning contributions
- 4.6 Where relevant, the findings of this SPD have informed this characterisation study.

Elephant and Castle Enterprise Quarter SPD (2008)

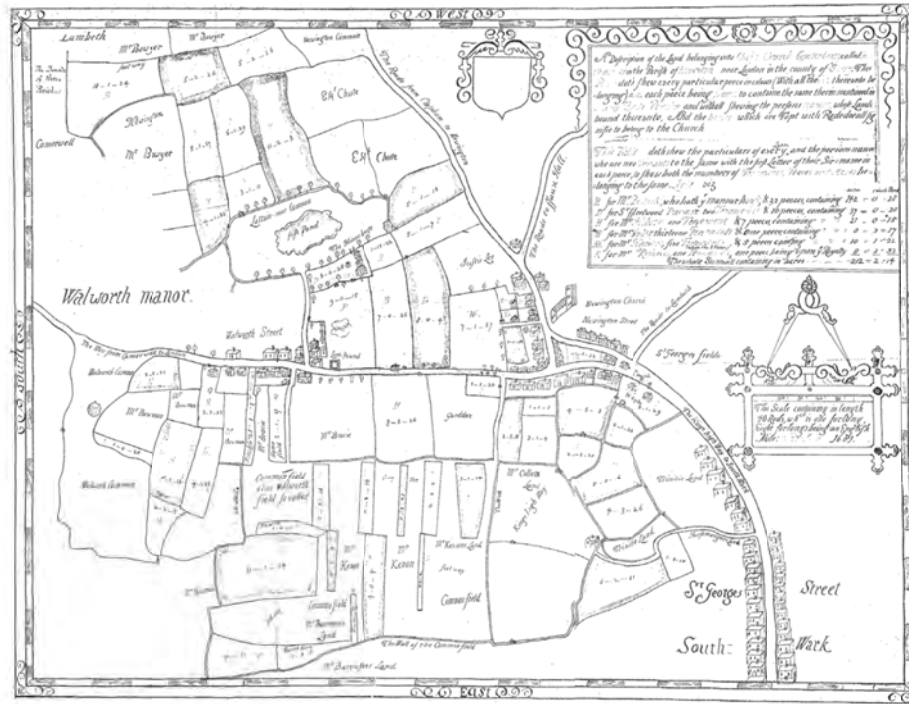
- 4.7 The Enterprise Quarter forms part of the Elephant and Castle Opportunity Area. In light of its role within the Opportunity Area and the potential for significant change through development, the SPD was completed. It identifies a development framework for the area (land use, movement principles, built form, public realm and sustainability), identifies development sites and sets out a public realm and local transport strategy, the elements of the study that are still relevant have informed this characterisation appraisal.

5 Heritage Context

5.1 This section provides an overview of the historic development of the Opportunity Area. It should be read in conjunction with the historic mapping (Figs. 8-14, note due to their age/ reproduction there are discrepancies within the historic base maps). The historic development of the individual character areas also informs the analysis of the character areas in Part 6.0.

Historic Development

- 5.2 During the Roman period Southwark was a suburb of Londinium, the Roman provincial capital of Britain. It spread along what is now Borough High Street, which is in approximate alignment with the original Roman Road and linked to several important roads to the south. During the Middle Ages Southwark formed the bridgehead of London Bridge, which remained the only bridge across the Thames until the mid 18th Century. Southwark was the only major settlement on the southern side of the river at this time (Pevsner, 1983).
- 5.3 Written records from the Middle Ages indicate that inns to accommodate travellers would have been a feature of the area given its important location. All of the early inns have been lost (with the exception of a fragment of the George at Borough). The inns thrived throughout the 18th and early 19th Centuries due to the increase in traffic (Pevsner, 1983).
- 5.4 Theatres were also attracted to the area via the Bishop of Winchester's liberty (outside the Government's jurisdiction). Shakespeare lived in Southwark and a Theatre at Newington (likely to have been built on the Walworth Road side of the junction) is noted as holding the premieres of a number of Shakespeare plays.
- 5.5 The prevalence of inns and theatres indicates the areas role as an entertainment district - it was known as the "Piccadilly Circus of south London." However, only the Coronet Theatre remains, now a nightclub and music venue.



PLAN OF THE MANOR OF WALWORTH, AND PARISH OF NEWINGTON, SURREY, IN THE YEAR 1681
REPRODUCED FROM THE ORIGINAL BY PERMISSION OF THE DEAN AND CHAPTER OF CANTERBURY, FROM THE ORIGINAL IN THEIR POSSESSION

Figure 8: Plan of The Manor of Walworth, 1681



Figure 9: John Rocques map of 1766

This was designed by Jethro Robinson and completed by Frank Matcham, the renowned theatre designer, then 25 and working on his first major project. It dates from 1879, replacing the earlier Theatre Royal which was built in 1872 but destroyed soon after by fire.

- 5.6 Another early building was the Church formerly occupying what is now known as St. Mary's Churchyard. This is likely to be the Church recorded in the Domesday Book of c.1086 within the Manor of Walworth and is indicated on the plan of Walworth from 1681 (Fig. 8). It suggests that there was a mediaeval settlement based around the Elephant and Castle area. A later Victorian Church, St Gabriel's, is seen on the 1896 map to the north of St. Mary's Churchyard.
- 5.7 Up until the middle of the 18th Century Southwark principally comprised development along the river, the High Street to St. George's, the road to Dover and the road to Elephant and Castle (Pevsner, 1983). This was surrounded by villages with mediaeval origins such as Newington, Kennington, Walworth and Lambeth and open farm land.
- 5.8 An important building on the main junction connecting these villages is believed to have been John Flaxman's blacksmith workshop, established in 1641. Flaxman agreed to pay an annual charitable donation of 4s in return for the construction of his building, eager to benefit from the traffic converging on the junction from Kennington, Walworth and Lambeth (Darlington, 1955).
- 5.9 In 1739-50 and 1760-9 Westminster and Blackfriars Bridge respectively were built. The area between Blackfriars Bridge and Newington Butts was planned in a Parisian manner by Robert Mylne (surveyor to the Blackfriars Bridge Committee). A completely straight north-south road from Blackfriars Bridge met the road from Westminster Bridge

at a circus (marked by an Obelisk of 1771, now grade II* listed). Three more roads radiated from the circus - Lambeth Road, London Road and Borough Road - and a little later came St. George's Road. Pevsner also notes that New Kent Road dates from 1751 (Pevsner, 1983). As an important historical example of Georgian town planning, St George's Circus has been designated as a Conservation Area.

- 5.10 By the 1760s, the principal road network as it largely exists today was visible. This included New Kent Road, St George's Road, Walworth Road, Newington Butts and Newington Causeway. Around 1760 the Elephant and Castle Inn was built on the site of the former blacksmith's workshop, adding to the numerous other taverns in the area. Pevsner notes that the name for the wider area came from this public house¹. Southwark was popular amongst charitable institutions due to the low land values, and prisons were constructed in the area due to the proximity to the city (Darlington, 1955). The Horsemonger Lane Gaol was built on the site of the future Newington Gardens, standing from 1791 to 1878. It was the site of many public hangings.
- 5.11 The draining of land in the early 19th Century brought about an intensification of building, principally for residential use (Darlington, 1997). The historic mapping shows that by 1830, the urban grain was firmly established with a clear hierarchy of primary and secondary streets comprising terraces and perimeter blocks. Much of the early street pattern remains today.
- 5.12 The area around St. George's Road became urbanised towards the end of the 18th Century and at the beginning of the 19th Century with housing, churches, schools, hospitals and asylums (New Bethlehem Hospital of 1812). The fabric of this area generally survives and now comprises the West Square Conservation

¹The origin of the Elephant and Castle name is not clear. It is known, however, that the motif of an elephant carrying a castle on its back was common throughout England from the Middle Ages onwards.



Figure 10: The Borough to Denmark Hill, 1830



Figure 11: OS Map, 1896

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area and the proposed Elliott's Row Conservation Area. In the 1790s three-sides of West Square had been completed, with the west side added in 1800-1810. By 1830 many of the streets within the West Square and proposed Elliott's Row Conservation Areas had been laid out, although development of the street blocks in the Elliot's Row Conservation Area generally came later. This area is predominantly characterised by Georgian and Victorian Housing and tenement blocks.

- 5.13 The area to the west of the Walworth Road (around Iliffe Street) was largely developed with terraced housing from the 1830s. However, a local builder, James Pullen, acquired an area of land, cleared the original terraces and built tenement buildings, workshop yards and some shops. Much of this later Victorian speculative development remains today as the Pullens Conservation Area.
- 5.14 To the east of Walworth Road, Larcom Street and Ethel Street were laid out between 1873 and 1893. The area comprised infill development between the Walworth New Town to the north and Charleston Street, Cotham Street and York Street (now Browning Street), Turquand Street and Walcorde Avenue to the south. An interesting, dog-leg, road configuration arose from the need to accommodate compact terraced houses within the area constrained by pre-existing development including terraced housing, St John's Church (1859-60), the Southwark Municipal Offices on Walworth Road (1864-65) and the timber yard and cooperage on Brandon Street. The terraced housing, church and St John's Walworth C of E Primary School now comprise the proposed Larcom Street Conservation Area.
- 5.15 The Brandon Street area retained a great deal of its openness in the early decades of the nineteenth century, featuring villas in

spacious plots. However, this was eroded due to the demand for working-class housing. The Walworth New Town arose by the 1860s and was expanded by the 1890s. Infill development covered gardens and open land. House-building was undertaken by a range of bodies, often following ancient field boundaries and rarely integrating with existing development.

- 5.16 Community facilities increased. By the 1890s, New Bethlehem Hospital which had relocated to the area from Moorfield's in 1812 had been expanded, schools were built on East Street and Rodney Road, and a library was built on Walworth Road. By the time the London, Chatham and Dover railway line arrived in 1862, Elephant and Castle had become more densely developed than it would be again. Rationalisation of the built form began in the late nineteenth century with construction of the Peabody Buildings on Content Street, but accelerated in the early twentieth century. Focusing mainly in the Rockingham area, London County Council replaced terraced streets with linear apartment blocks set in open grounds.
- 5.17 Traffic congestion had arisen as a significant problem, particularly at the Elephant and Castle junction. Removal of the central island was hotly debated in the 1890s and 1930s, but with little effect (Darlington, 1955). It was the devastation wrought on the area by the Blitz of World War Two which proved to be the catalyst for change.
- 5.18 Elephant and Castle suffered tremendously in the Blitz of September 1940 to May 1941, losing around one third of its buildings. Maps prepared by London County Council (Fig. 13) indicate the extensive bomb damage including eight direct hits from V1 flying bombs within the area. The Elephant and Castle junction and its immediate surroundings were most seriously hit with much of the area damaged

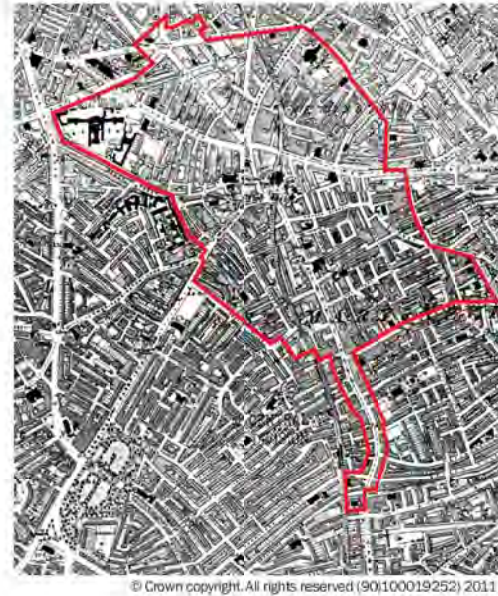


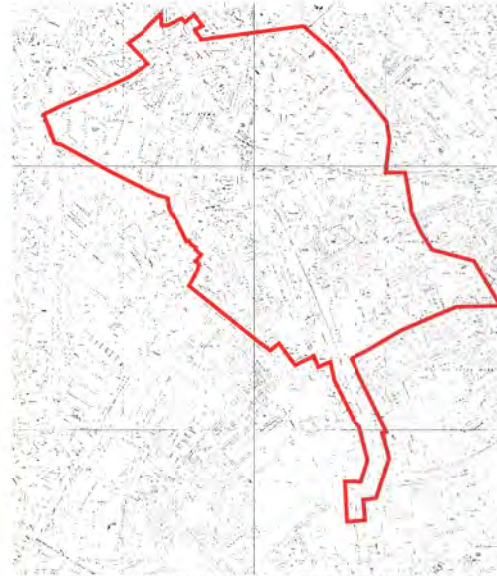
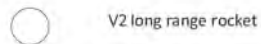
Figure 12: OS Map, 1915-1920



Figure 13: London County Council Bomb Damage Map

Colour key references:

Black	total destruction
Purple	damage beyond repair
Dark red	seriously damaged; doubtful if repairable
Light red	seriously damaged, but repairable at cost
Orange	general blast damage - not structural
Yellow	blast damage, minor in nature
Light blue	clearance areas
Light green	clearance areas



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Figure 14: Historic Map, 1952

beyond repair and a significant number of buildings were totally destroyed. Substantial swathes of terraces surrounding this core are shown to have minor blast damage. Additional areas were marked for clearance including the remaining Harper Road terraces south of Falmouth Road; the western side of Orb Street; and parts of Walworth Road.

5.19 In response to the widespread damage, a succession of masterplans were drawn up, based on Abercrombie's County of London Plan of 1943. The 1951 revision featured today's double roundabout layout (postwarbuildings.com). Clearance proceeded in 1956 (Marcan, 1997) although it was not until 1958 that Hubert Bennett's plan was produced, prompting an architectural competition focused on the proposed shopping centre complex. The winning design of Boissenvain & Osmond featured Europe's first American-style enclosed mall paired with Hannibal House, a 12-storey office block. The mall was completed in the early 1960s, followed by Erno Goldfinger's cinema and government offices at Alexander Fleming House in 1967 (English Heritage Online HER and London Encyclopaedia, postwarbuildings.com).

5.20 By this time roads had been realigned and subways installed. Office, retail and residential developments had proceeded apace, with apartment blocks reaching 25 storeys (Southwark Guide 1969-70). Further additions included a market and the London College of Printing. Between 1970 and 1974, the Heygate Estate was constructed, providing over 1,000 dwellings (Marcan, 1997).

5.21 The later part of the 20th Century saw changes on a smaller scale. The shopping centre was painted pink in 1991. Colourful subway murals by David Bratby and Denise Cook were unveiled in 1993, reflecting on the history of Elephant and Castle (Marcan, 1997). At the same time, improvements were made to subway entrances, lighting and paving, and a tree-planting programme was undertaken. In 1997, Alexander Fleming House was transformed into Metro Central Heights, a 422-apartment residential block (London Encyclopaedia).

5.22 The adoption of the Elephant and Castle Development Framework SPG in 2004 indicates the extent of regeneration that is envisaged to take place for the Central Area and Heygate Estate although the specifics are still to be agreed. New investment in the area is represented by the completion of the Strata Tower in June 2010. Further works are currently underway or have recently been completed including private investment along the northern end of Walworth Road, the removal of the southern Elephant and Castle roundabout and the refurbishment of St Mary's Churchyard.

Listed Buildings

- 5.23 There are over 150 statutorily listed buildings within the Opportunity Area. These are identified within each of the character areas in Part 6.0 and the associated character area audit in Appendix 1. All buildings are grade II listed with the exception of the Obelisk at St. George's Circus which is grade II* listed.
- 5.24 There are also a number of listed buildings that lie outside the boundary of, but in close proximity to, the Opportunity Area. These are discussed within the character area description included in Part 6.0

Locally Listed Buildings

- 5.25 Buildings with the potential for adding to the Council's local list have been identified as part of this study throughout the Opportunity Area. The definition of a locally listed building and identification of locally listed buildings in each character area are included in Section 6.0 and the accompanying audit.

Conservation Areas

- 5.26 The Opportunity Area contains three existing Conservation Areas within its boundary (see Fig. 15):
- St. George's Circus (1)
 - Pullens (2)
 - West Square (3)
- 5.27 In addition, Larcom Street (4) and Elliott's Row (5) are both proposed Conservation Areas. The existing and proposed Conservation Area boundaries within the Opportunity Area are shown on Fig. 15.
- 5.28 Sunderland Square (6) and Liverpool Grove (7) Conservation Areas within Southwark and Walcot Conservation Area (8) within Lambeth abut the edges of the Opportunity Area.

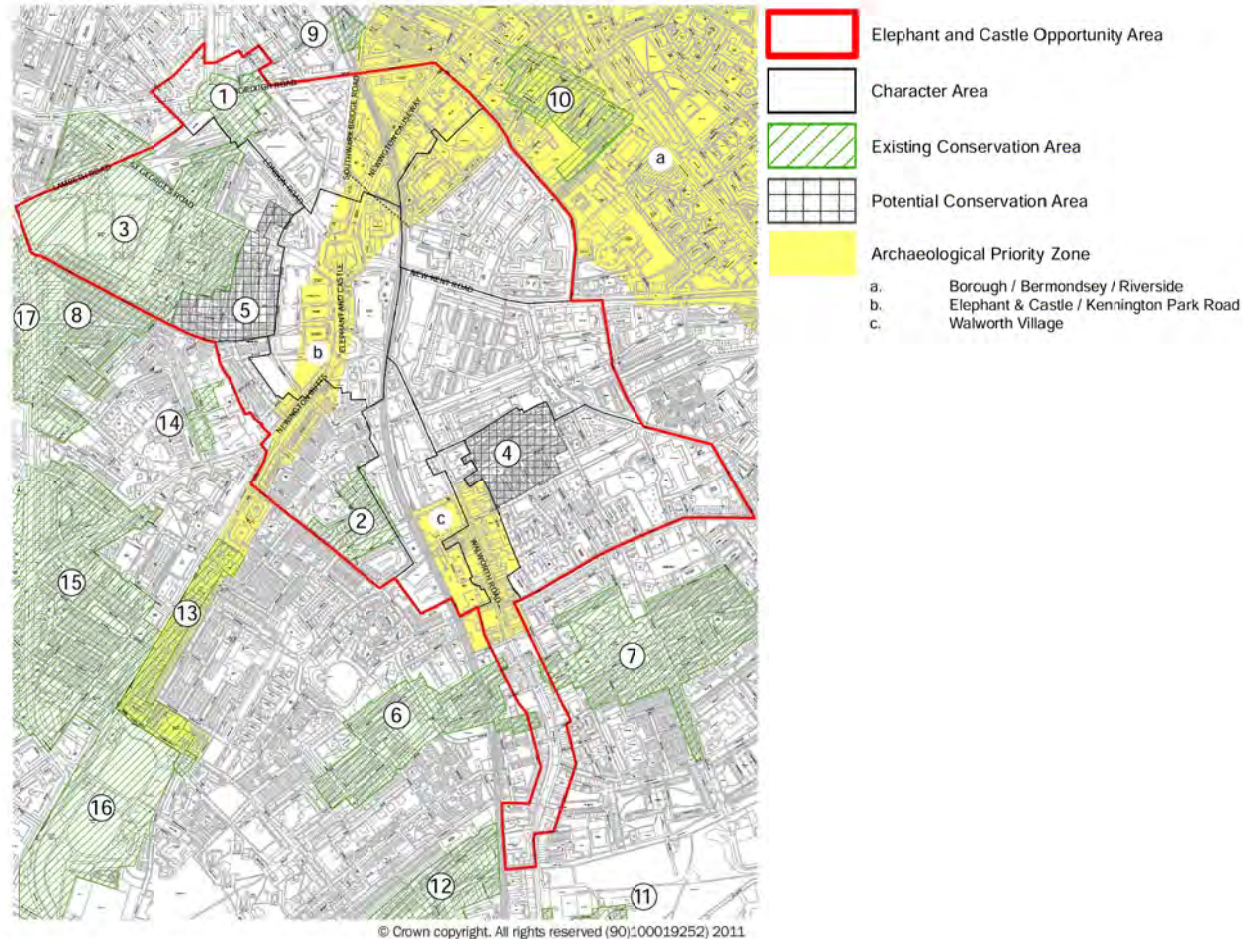


Fig. 15 Archaeological Priority Zones and Conservation Areas

5.29 Other Conservation Areas within the immediate vicinity of the Opportunity Area are:

- Kings Bench, Southwark (9)
- Trinity Church, Southwark (10)
- Addington Square, Southwark (11)
- Grosvenor Park, Southwark (12)
- Kennington Park, Southwark (13)
- Renfrew Road, Lambeth (14)
- Kennington, Lambeth (15)
- St. Mark's, Lambeth (16)
- Lambeth Walk, Lambeth (17)

5.30 Where appraisals have been completed for these conservation areas they have been listed in the audit and the bibliography and have been reviewed for the purposes of this study.

Archaeology

5.31 The archaeological heritage of Southwark is amongst the richest in London and comprises remains of local, regional, national and international importance that date from the prehistoric period to recent history and the industrial remains of the 19th and 20th Centuries. These remains have influenced the Borough's development and provide a tangible link to the Borough's past.

5.32 The almost continuous occupation of parts of the Borough for settlement, and the wider use of the land for other activities, including agriculture, has led to development of extensive and complex archaeological deposits that form a finite historical resource.

5.33 The most notable remains within the Borough are associated with, Londinium, the Roman provincial capital of Britain near today's London Bridge and Borough High Street. This area continued to be occupied during the Saxon period and by the medieval settlement of Long Southwark, famed for its fairs and inns and alehouses. This area was also densely populated and contained industries such as tanneries and tallow smelting.

5.34 These areas are located to the north east of the Opportunity Area and the principal archaeological deposits within the Opportunity Area itself are likely to be associated with the peripheral activities of these settlements, satellite settlements and transport between settlements along the course of early track and roads. Prehistoric finds, Roman finds and burials have been found within the wider Opportunity Area, but these are generally chance finds and there has been limited amount of modern archaeological excavation.

5.35 The name Walworth, 'Wealawy' as it occurs in c.1006 (Kemble (1839-48), is of Saxon origin. Walworth is listed in the Domesday Book (c.1086) and a church is mentioned. The church would have originally occupied the site of what is now known as St Mary's Churchyard, indicating the presence of a medieval settlement around the junction of the roads at Elephant and Castle (St Mary's may have replaced an even earlier, pre-conquest, church).

5.36 The earliest record of Newington, Surrey, occurs later in c.1212 when the Book of Fees (Gover, Mawer, Stenton 1934) mentions that Roger de Susexx' held the church of "Niwetun" of the gift of the Archbishop.

5.37 An early building includes a Shakespearian theatre thought to be located either in the vicinity of Newington Butts or east of the Walworth Road near the junction with New Kent Road (Darlington, 1955). This theatre may have been associated with the existing nearby entertainment grounds at St. George's Fields (Fairman Ordish, 1899) and dating from c.1570's is potentially one of the earliest theatres (Ingram, 1992).

5.38 There may be archaeological interest associated with a civil war fort located in the vicinity of the northern roundabout at Elephant and Castle. This formed part of the chain of defences erected around London during the Civil War in 1642.

5.39 Walworth and Newington are marked as separate hamlets on the plan of 1681 (Fig. 8) and they continued as such well into the 18th century.

5.40 Other than these early settlements and villages, and the more concentrated activities along the south bank of the Thames associated with the use of the river as a transport and trade route, very little of the wider area, and indeed the Opportunity Area was developed prior to the 19th Century.

5.41 At the beginning of the 19th Century, much of the district forming the Opportunity Area was still semi-rural with large tracts of open land behind houses fronting the principal early roads and streets. The open areas are likely to have been a mix of rough pasture and cultivated land, most probably under market garden cultivation, interspersed with marshes in low lying areas. Much of the north western section of the Opportunity Area formed part of Southwark Fields, an area of common marshland agreed by Royal Charter in 1377, and later known as St. George's Fields. This area was at the centre of the Georgian town planning that saw the formation of St. George's Circus at the north of the Opportunity Area following the completion of Blackfriars Bridge in 1769. However, despite improvements to roads and developments along the principal highways, it was not until the 1840s that the Opportunity Area was fully developed. This rapid development for both residential and industrial uses itself forms an increasingly significant portion of the archaeological heritage of the area that complements the earlier deposits that are more readily recognised for their significance.

Archaeological Priority Zones (APZs)

5.42 The range of archaeological and historical information available has enabled the Council to establish a number of archaeological priority zones, and three of the Borough's seven archaeological priority zones (APZs) lie partially within the Elephant and Castle Opportunity Area. These are:

- 1 Borough, Bermondsey, Riverside;
- 2 Elephant and Castle, Kennington Road; and,
- 3 Walworth village.

5.43 The following paragraphs describe the three APZs that fall partially within the Elephant and Castle Opportunity Area: The locations are shown on Fig. 15.

Borough/Bermondsey/Riverside APZ

5.44 This APZ forms the largest archaeological zone within the Borough and incorporates the Roman and Medieval settlement and the historic settlement areas of Bankside, Bermondsey and Rotherhithe. Only the south western portion of the APZ in the vicinity of Newington Causeway between Southwark Bridge Road and Bath Terrace is located within the Opportunity Area, although large tracts of the land to the north east of the Opportunity Area beyond Harper Road are within the APZ. Excavations have revealed evidence of Roman roads and structures and the structural remains of medieval buildings within this zone, notable examples (although outside the Opportunity Area) include Winchester Palace and the Priory of St Mary Overie.

Elephant and Castle/Kennington Park Road APZ

5.45 This APZ follows the likely route of Stane Street, the Roman road from London to Chichester. It is likely that Roman buildings and burials may be located in areas adjacent to the line of the road. The zone also includes the site of the Saxon and Medieval village of Newington Butts. The north eastern and central sections of the APZ are located within the Opportunity Area, although the APZ continues to the south west along Kennington Park Road to the Borough Boundary with Lambeth.

Walworth Village APZ

5.46 This APZ includes the site of the Saxon and medieval village of Walworth. The majority of the APZ is located within the Opportunity Area apart from a small section to the south west of the APZ between Penrose Street and Carter Place to the immediate east of the railway. The Medieval village of Walworth is mentioned in the Domesday Book; it comprised the manor house, church and 19 households. No archaeological evidence of the village has yet been uncovered, but the Plan of Walworth 1681 (Fig. 8) probably represents the original location of the Saxo-Norman settlement, which straddled the present Walworth Road in the vicinity of Manor Place which may give a clue to the location of the original manor house associated with the settlement.

London Borough of Southwark APZ Archaeological Strategy

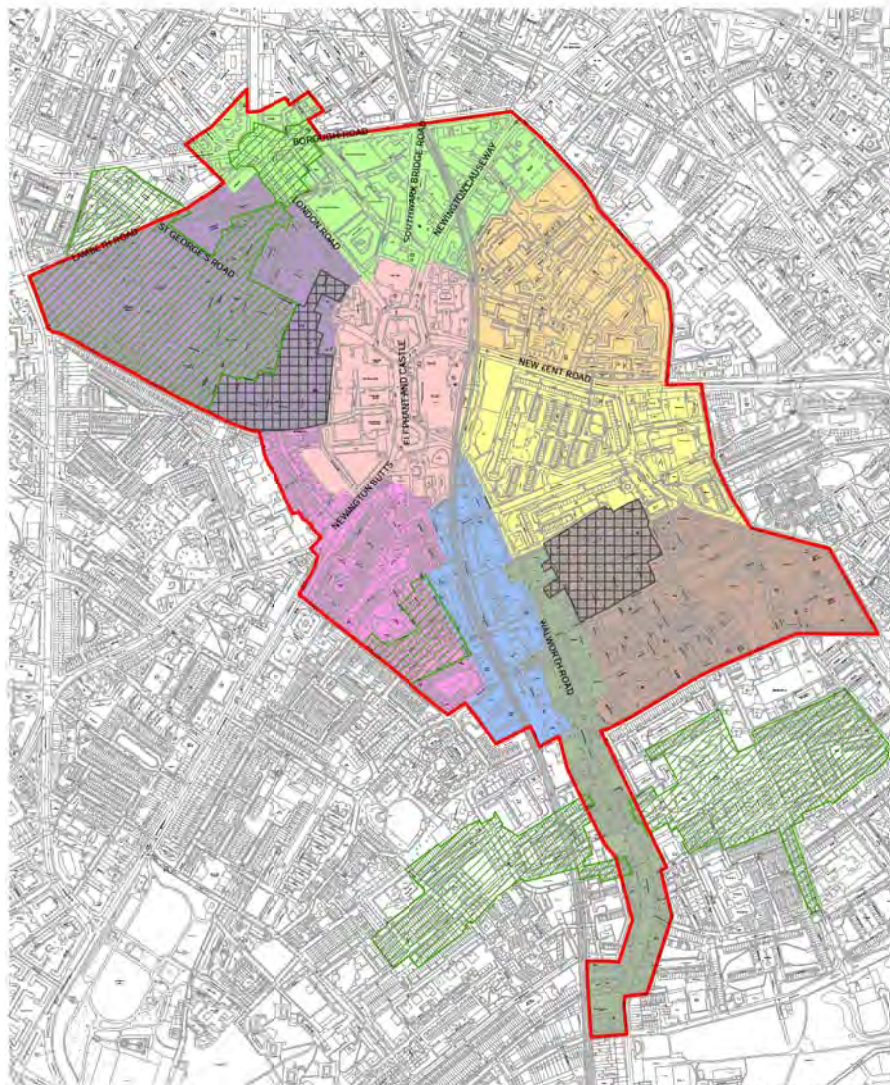
5.47 Southwark Council has policies to protect the Borough's archaeology and APZs and a dedicated Archaeology Officer ensures that these considered as part of the planning process.

5.48 When development proposals are submitted within these areas, the Council Archaeological Officer will undertake an initial appraisal to assess the archaeological implications and ensure that any necessary archaeological investigations are secured as part of the planning process. Depending upon the likely impacts of the proposals upon the archaeological significance of sites, applicants may be required to supply a desk-based assessment to the Council and conduct archaeological trial investigations (evaluations) that take place before the application is determined. If the impact of the development is detrimental to the preservation of archaeological significant evaluation works will need to be undertaken prior to the determination of the planning application. If archaeological remains are found, there may be a requirement to preserve the significance of such remains in situ or conduct partial or total archaeological excavation if remains do not merit in situ preservation.

6 Character Areas

Methodology

- 6.1 The Opportunity Area has been defined broadly in the London Plan (2008) (Policy 5D.2 Opportunity Areas in South East London, and Map 5D.1) and defined on Southwark's adopted proposals map and within its Core Strategy (Fig. 6). To assist with characterisation, the Opportunity Area has been sub-divided into a series of character areas. This has been undertaken using the following criteria:
- 1 Historical development (for example identifiable phases of development)
 - 2 Existing development, building typologies and townscape character
 - 3 Land use and functional characteristics
 - 4 Physical containment or edges leading to a form of enclosure or area definition
 - 5 Existing area-based policy or statutory definitions (for example conservation areas)
- 6.2 As a result of the field and desktop studies the boundaries of nine character areas have been identified (Fig. 16). These are:
- 1 Central Area (12.7ha)
 - 2 Heygate Street (15ha)
 - 3 Rail Corridor (8ha)
 - 4 Enterprise Quarter (15.6ha)
 - 5 Rockingham (13ha)
 - 6 Brandon Street (17.2ha)
 - 7 Walworth Road (9.1ha)
 - 8 Pullens (11.1ha)
 - 9 West Square (21.3ha)
- 6.3 This section contains detailed maps and descriptions of each of the character areas and provides the following:
- 1 A brief summary capturing the essence of each area
 - 2 An understanding of the historic development of the area
 - 3 A discussion on the key urban design and movement issues that characterise the area
 - 4 A description of the prevailing built form
 - 5 Views that may feature within the areas
 - 6 The prevailing land uses within each area
 - 7 A review of heritage assets (conservation areas, listed buildings, possible locally listed buildings and buildings of townscape merit)
 - 8 The open space and landscape features of each area
 - 9 Potential opportunity sites
- 6.4 An audit of each character area is contained in Appendix 1. This includes a comprehensive list of heritage assets, buildings of townscape merit, identified views and any Tree Preservation Orders. Appendix 1 should be referred to when reading the character area sections.
- 6.5 In terms of the identification of locally listed buildings, within the Elephant and Castle Opportunity Area there are some characterful buildings from different periods with different architectural designs, some of which are listed. National guidance (Planning Policy Statement 5) encourages the Council to identify locally listed buildings based upon a suitable set of criteria.
- 6.6 On this basis, the Council will seek to protect buildings with local value because they make a positive contribution to the character or appearance of Elephant and Castle due to their architectural or historic interest, or because they form part of an interesting group
- 6.7 The Council has identified buildings that meet these criteria to conserve and enhance their local interest. The list is not exhaustive and more buildings may be added to the list at the preferred options stage.
- 6.8 In addition buildings of townscape merit have been identified through this characterisation appraisal. These are defined as buildings of merit that contribute to the quality of the townscape but might not meet the local listing criteria on an individual basis. They may also include buildings constructed recently that are examples of high quality architecture.
- 6.9 In terms of views, tall buildings in the Central Area (specifically the "Strata") and in the wider area (the "Shard") can be seen in a significant number of streets and spaces throughout the Opportunity Area. These tend to be non-planned views that are incidental to the townscape but they do assist orientation within the area. The following categories of views have been defined:
- 1 Gateway views into/out of the area – marking the transition into or out of the Opportunity Area.
 - 2 Orientation views and vistas – views towards tall buildings (not necessarily high quality buildings) that may not be planned. These views may be able to accommodate additional tall buildings.
- 3 Views and vistas to historic buildings/ structures or conservation areas – these are generally sensitive views that form an integral part of the townscape that should be protected. These contribute to the viewer's ability to recognise and appreciate the visual appearance and character of the Opportunity Area.
 - 4 Views to surrounding landmarks – these are generally views out of the Opportunity Area towards surrounding landmarks (for example the Shard, or the London Eye) that assist with locating the Opportunity Area within the wider London context. These views may not necessarily be sensitive and will be unplanned but result from the ongoing development of the wider area.
- 6.10 Potential opportunity sites have been identified within each character area. The type of development opportunity they offer is explored in Section 7.0 - the Management Framework. The opportunity areas have either been identified for development within the Council's Core Strategy or they have been identified through the characterisation study. In terms of the latter, these are generally poor quality buildings that represent demolition or refurbishment opportunities (irrespective of ownership). The identified opportunity sites are indicative only, the sites may not be developed and other sites suitable for redevelopment may come forward.



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Figure 16: Character Areas

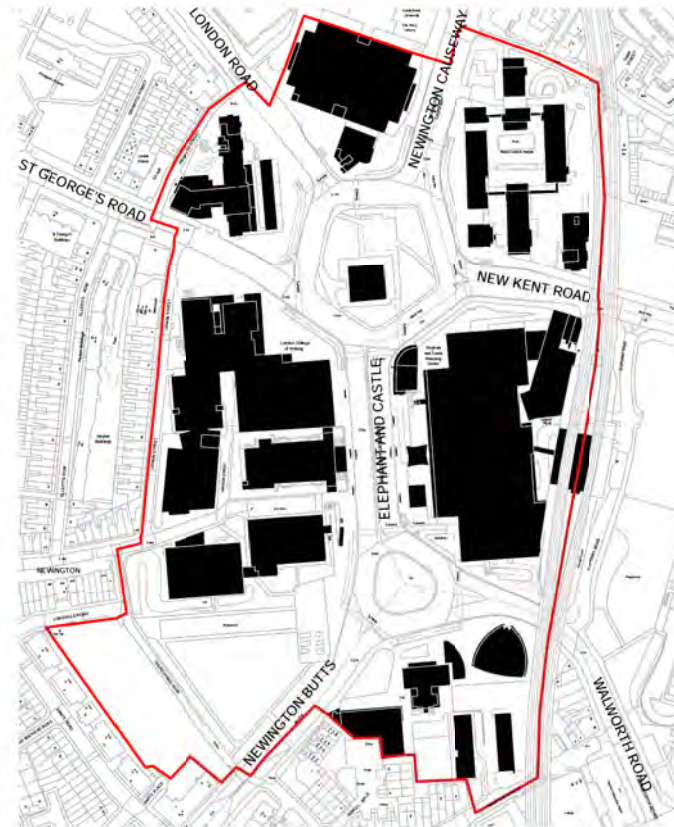
Character Area 1: Central Area

6.11 **Summary:** A busy area throughout the day and evening with a mix of Central Area uses including retail, leisure and educational uses and public transport connections. Post-war redevelopment of the area has led to a traffic dominated road layout, a poor pedestrian environment and a legacy of tall buildings. Regeneration of the area is now underway.

6.12 As its name implies, this area comprises the heart of the Elephant and Castle Opportunity Area and contains the eponymous public house which is thought to date, in an earlier manifestation, from around 1760.



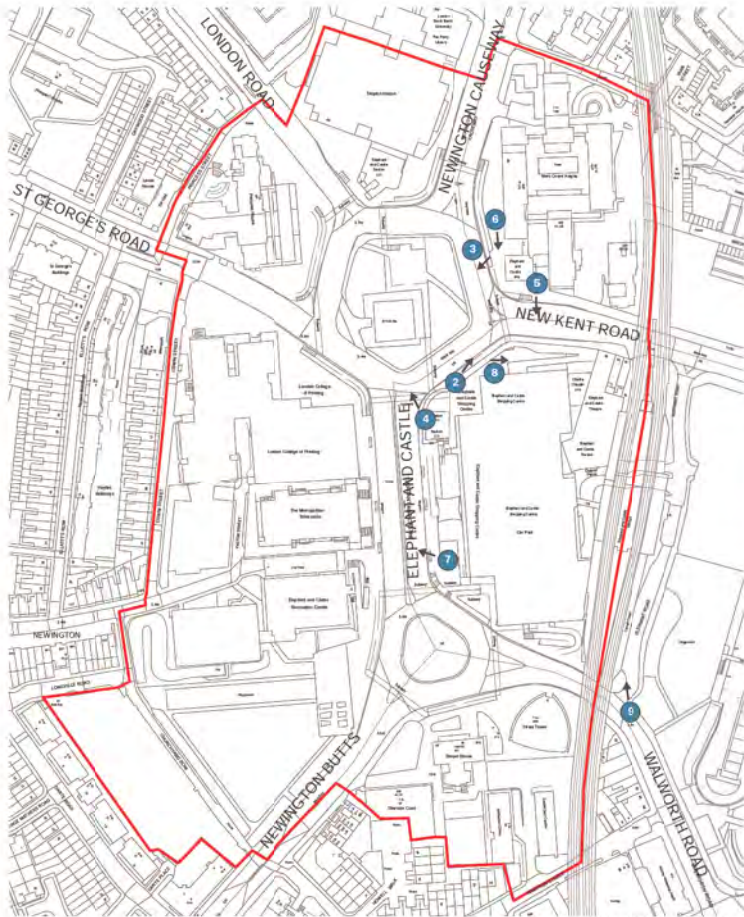
Figure 17 - Aerial Photo



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Figure 18 - Figure Ground

Character Area 1: Central Area



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Photograph Location Plan 1



Photo 2: Metro Central Heights



Photo 3: Northern Roundabout at Elephant and Castle



Photo 4: Perronet House



Photo 5: Elephant and Castle Shopping Centre

Character Area 1: Central Area



Photo 6: Characteristic underpasses



Photo 7: The Metropolitan Tabernacle



Photo 8: The Elephant and Castle Market

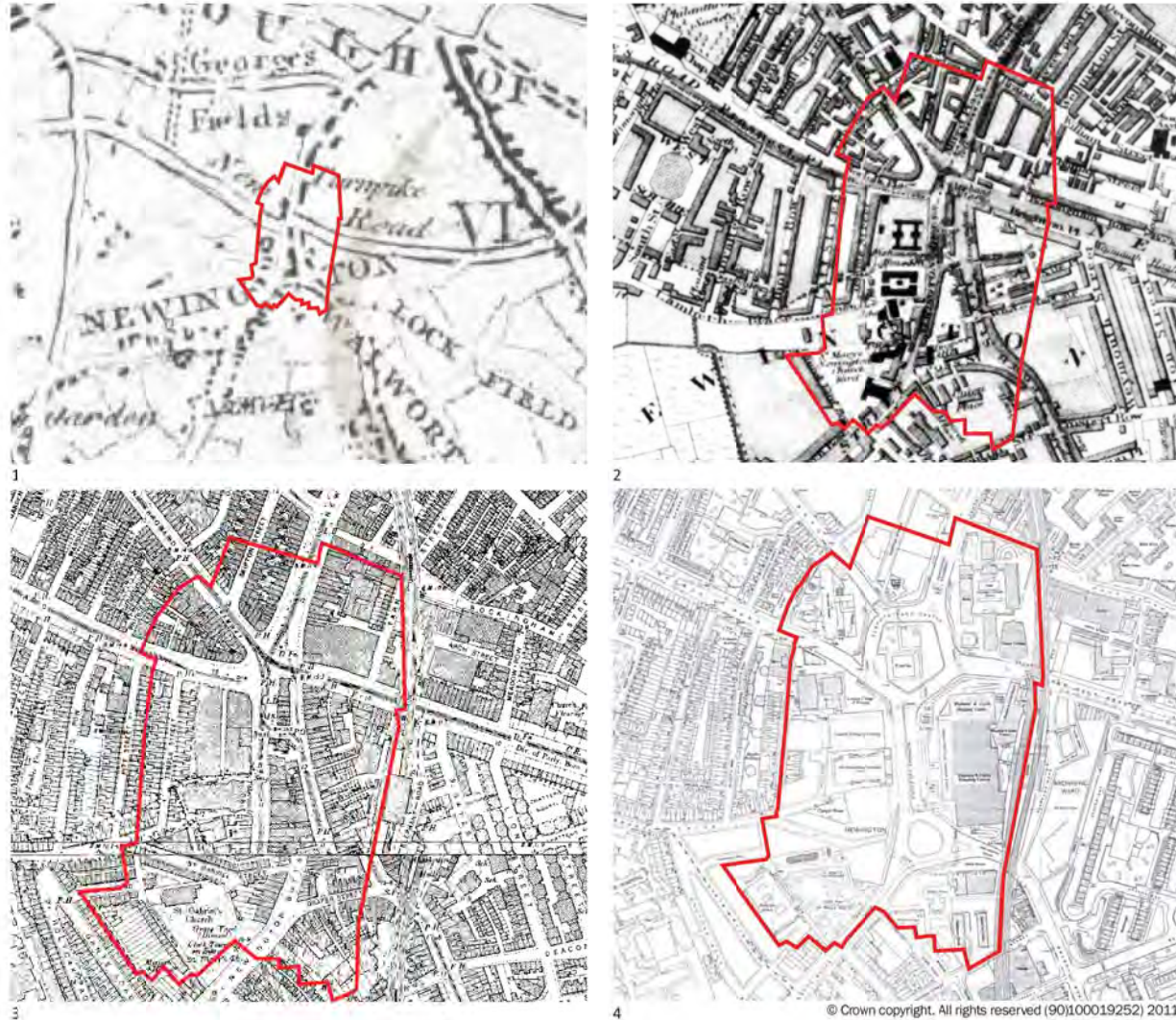


Photo 9: Elephant Road

Character Area 1: Central Area

Historic Development

6.13 In terms of historical development, the area was dominated by farmland in the second half of the eighteenth century, although key routes had been established north to London Bridge, south to Newington and Walworth, west to Lambeth and east to Kent (Fig. 19.1). Scattered development fronted the key routes. This early road network is still evident in the layout of streets today. The building of key bridges across the Thames (Westminster, Blackfriars and improvements to London Bridge) led to an increasing importance of the local road network and the rapid urbanisation of these streets, initially with a predominance of terraced houses (Figs. 19.2 and 19.3). The area was badly damaged by bombing in the Second World War leading to comprehensive redevelopment and the development of key sites including Alexander Fleming House (1963) for government offices, converted to residential in the 1990s and now Metro Central Heights, the shopping centre (1965), system-built housing schemes and the road infrastructure, including the subway system (Fig. 19.4).



Character Area 1: Central Area

Urban Design and Movement

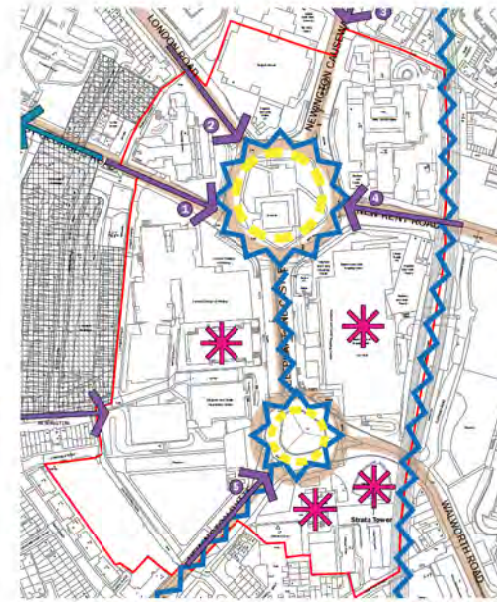
6.14 The key gateways to this area (the term is equally applicable in the opposite as Elephant and Castle has historically been a gateway into London) are provided by the historic road layout (Newington Causeway, London Road and St George's Road from the north and Newington Butts and Walworth Road from the south) (Fig. 20). The layout and urban design of the character area is relatively hostile for pedestrians being based on the post-war orthodoxy of separating pedestrians from traffic. This results in a lack of clearly defined and active frontages (for example the base of Perronet House) and a poor public realm around the northern roundabout which comprises a series of disconnected public spaces and left over areas. The viaduct creates a significant barrier separating the Central Area from the residential areas to the east. The comprehensive regeneration of the Central Area will address these issues and work has recently been completed to remove the southern roundabout and re-introduce at-grade crossings, reducing reliance on sub-way links and improving movement through the area.

Views

6.15 The Central Area is seen in a number of views due in the main to the predominance of tall buildings (Fig. 20). The Strata Tower is a new and singular landmark in many south-east London views. Views towards the Central Area assist with orientation. At street level, the railway viaduct has a significant role in forming a visual barrier. This results in a distinct gateway feel when arriving from New Kent Road and Walworth Road.

Built Form

6.16 The built form currently comprises a number of large scale buildings, in terms of footprint, massing and height (Fig. 21). Many of these exceed the commonly accepted "tall building" definition of 30m, or 10 residential storeys, with examples significantly exceeding this threshold including the Metro Central heights (17 storeys) and the recently completed Strata tower (43 storeys). Buildings above a podium level are also a feature (Shopping Centre and Perronet House). Other low rise buildings include the Metropolitan Tabernacle which is two large storeys with a pediment; the Coronet Theatre and adjacent 19th Century terraces (3-4 storeys). There is no consistency in building materials due to the individualist approach to buildings. Late 20th Century materials predominate including concrete and glass.



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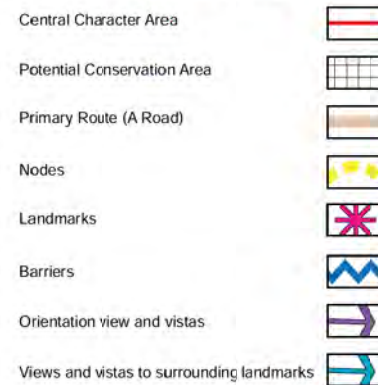


Figure 20: Townscape Analysis

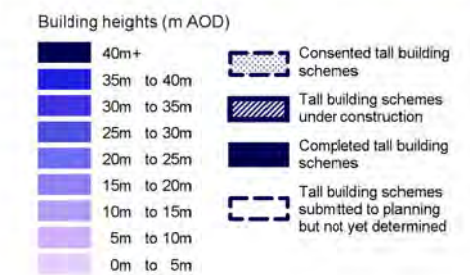
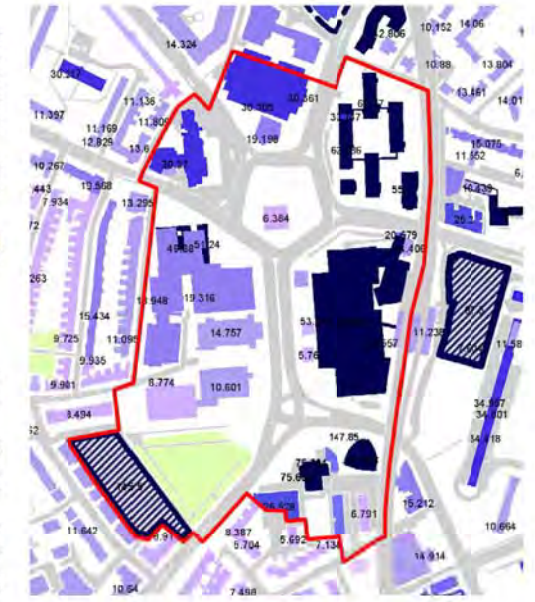


Figure 21: Building Heights

Character Area 1: Central Area

Land Use

6.17 The prevailing land uses in the area are retail, commercial, educational (the London College of Communication), leisure and recreation (the Elephant and Castle Recreation Centre, the Coronet Theatre, various cafes and restaurants), and religious (the Metropolitan Tabernacle) (Fig. 22). Ethnic businesses are also a feature of the area. The area is characterised by single uses rather than mixed uses. Combined with the extremely busy road network and public transport infrastructure (rail, tube and bus), the Central Area has a very high intensity of use and activity during the day and at night.

Landscape and Open Space

6.18 The only landscaped open space of significance to the character of the area is St Mary's Churchyard, which has recently undergone significant refurbishment and is protected by Council policy. The setting of the park would benefit from redevelopment to the north and east to provide a strong edge and clear sense of enclosure (Fig. 22). There are areas of paving, grass and trees around the Electricity Sub-Station roundabout, a small park/play area to the rear of Draper House and mature tree planting to the front of the London College of Printing and Perronet House. The street planting, together with the subway murals provides some relief for those seeking out this area. Generally the area is a zone of transition for pedestrians moving between the arms of the roundabout that could benefit from public realm and landscape improvements.

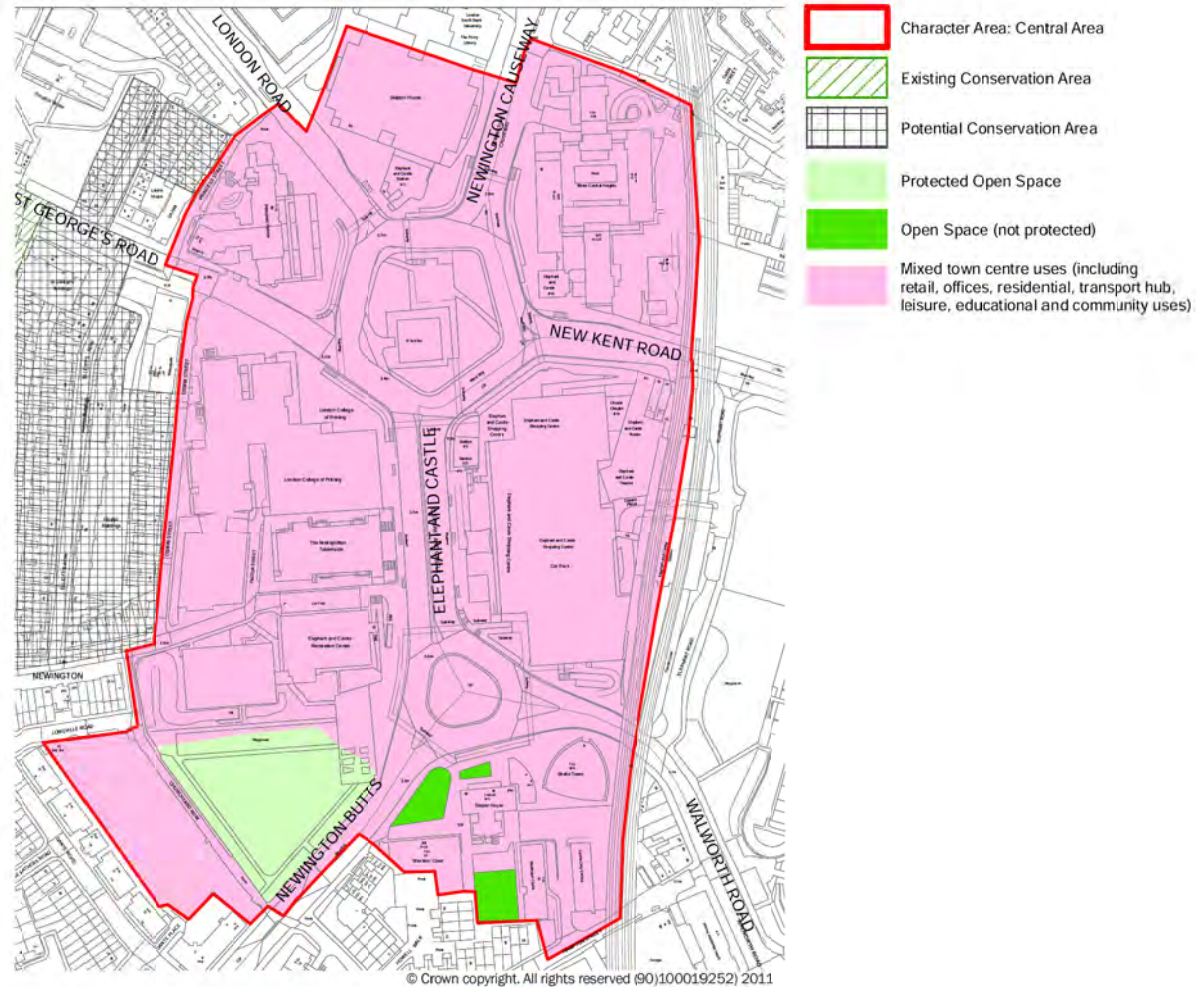


Figure 22: Land Use

Character Area 1: Central Area

Heritage Assets

6.19 As noted above, much of the built heritage assets of the area were destroyed in the war or as part of post war comprehensive redevelopment (Fig. 23). Limited historic built forms survive, for example the façade of the Metropolitan Tabernacle (grade II listed). This forms a focal point on the western side of Elephant and Castle, although its setting has been heavily compromised by the 1970s redevelopment and road layout. There are good examples of post war architecture which are either statutorily listed (Michael Faraday Memorial Electricity Sub-station, grade II) or have been identified in the study as candidates for local listing or buildings of townscape merit. These include Metro Central Heights (designed by Erno Goldfinger) and Draper House (London County Council Architects).

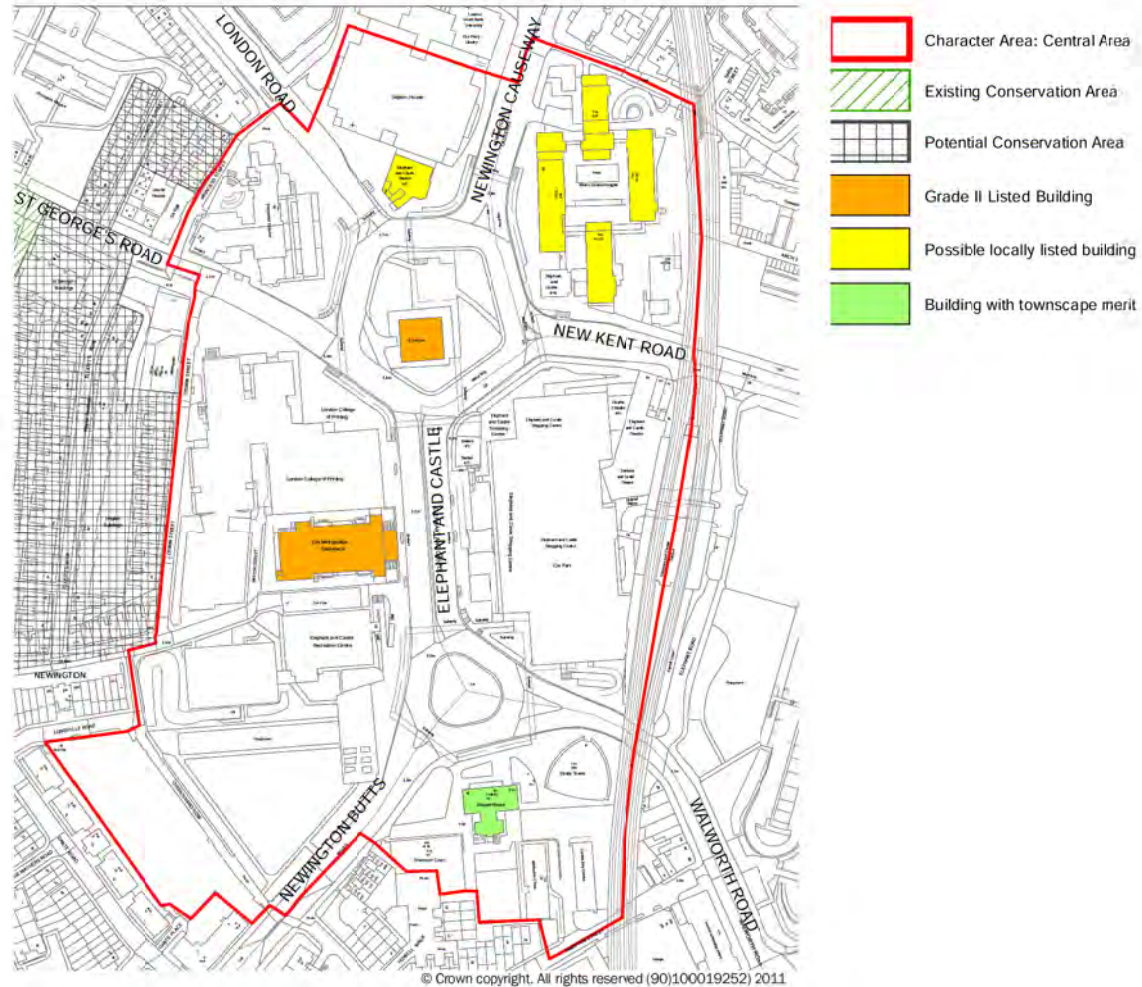
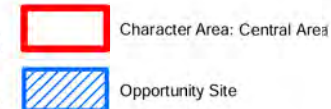
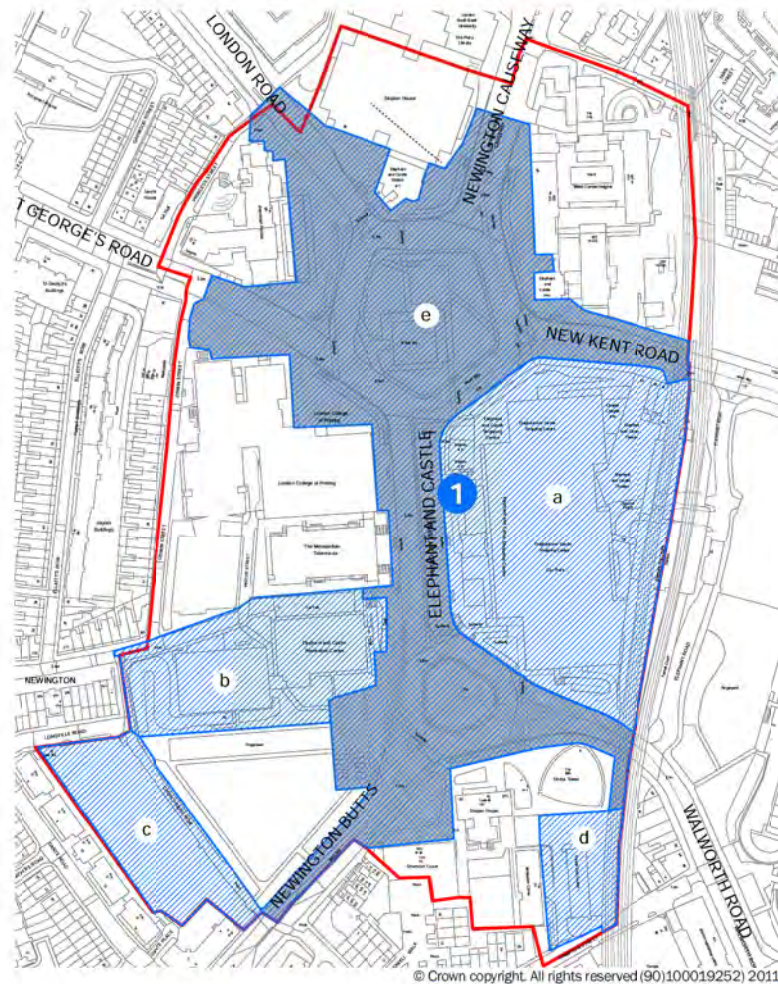


Figure 23: Heritage Assets

Character Area 1: Central Area

Opportunity Sites

6.20 The Central Area contains a substantial opportunity site in the form of the shopping centre and the main roundabout (Fig. 24). This is already the subject of masterplanning proposals to bring forward new development with traditional street frontages. The removal of the southern trafficked section of the roundabout will allow access to a new substantial area of public open space. Elsewhere, there is a substantial potential development site adjacent to Churchyard Row - the London Park Hotel site where permission has been granted for a 44 storey tower and includes a new home for Southwark Playhouse. On the northern side of the churchyard, the leisure centre is to be redeveloped as a mixed-use scheme providing a new leisure centre and residential/retail uses. The latter provides an opportunity to increase and improve public realm/public space as does the development of the shopping centre.



Opportunity Sites:

1. Elephant & Castle Shopping Centre and surroundings comprising:
 - a. Shopping Centre site
 - b. Leisure Centre site
 - c. London Park Hotel site
 - d. Castle Day Centre site
 - e. Public realm works

Figure 24: Opportunity Sites

Character Area 2: Heygate Street

6.21 **Summary:** The Heygate Estate is a 1970s public housing estate consisting of monolithic slab blocks up to 12 storeys in height aligned with streets (New Kent Road, Heygate Street, Rodney Place) enclosing smaller blocks of three and four storeys set in landscaped grounds with mature trees. The estate has

been decanted for imminent development. The eastern edge of the character area comprises a small pocket of commercial and community uses with some remaining 19th Century buildings.



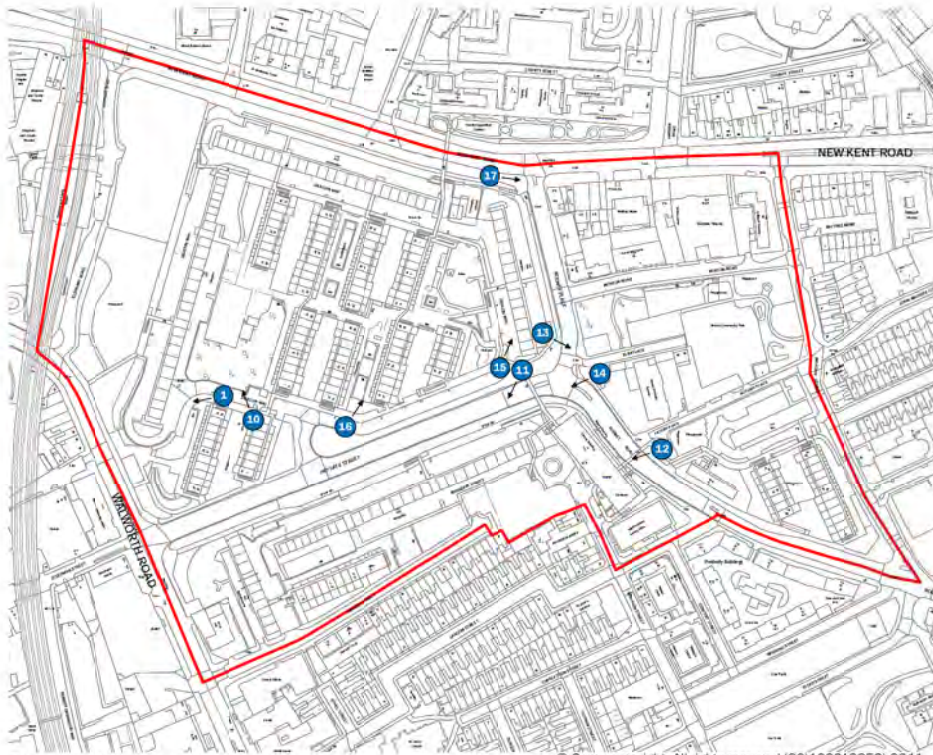
Figure 25 - Aerial Photo



Figure 26 - Figure Ground

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Character Area 2: Heygate Street



Photograph Location Plan 2

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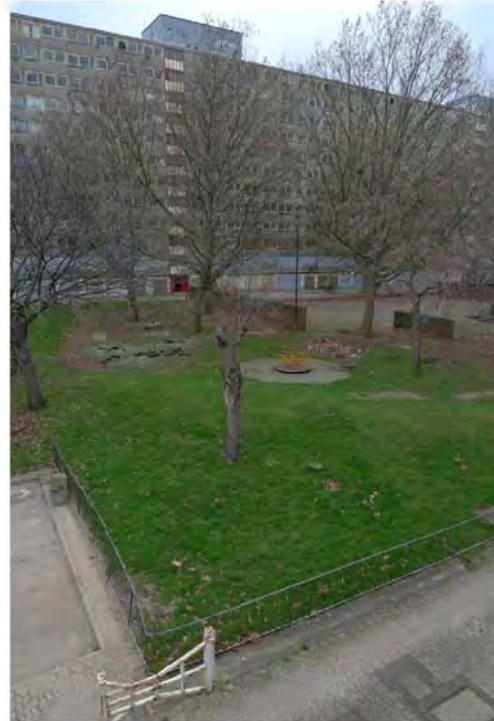


Photo 10: Communal gardens of the Heygate Estate



Photo 11: Heygate Street



Photo 12: Rodney Road

Character Area 2: Heygate Street



Photo 13: Victory Primary School, Elba Place/Rodney Road



Photo 14: High level walkways of Heygate Estate



Photo 16: Maisonette block of Heygate Estate



Photo 15: Heygate Estate, integral garages



Photo 17: The Crown and Anchor Public House, New Kent Road

Character Area 2: Heygate Street

Historic Development

6.22 In terms of its historical development, the Heygate Estate was also in agricultural use in the middle of the 18th century (Fig. 27.1). However, by 1896, the area enclosed by New Kent Road, Elephant and Castle and the Walworth Road were fully developed by terraced houses, tenements and supporting institutional uses (for example schools, pubs and some commercial uses) (Fig. 27.3). Much of this survived wartime bombing but a decision was taken to undertake comprehensive development. Between 1970 and 1974 the Heygate Estate (including Wingrave to the east of Rodney Road) was constructed, providing over a thousand dwellings. The 1977 map shows the retention of New Kent Road, Rodney Place and Heygate Street, otherwise the historic streets were eradicated by the new estate layout. In the original design of the estate, pavements weren't retained along Heygate Street and Rodney Road, being replaced instead by high level walkways. A remnant of the 19th Century street structure to the east of Rodney Place remains. A little less than 40 years after these estates were built, the Heygate is now substantially cleared of residents for demolition and Wingrave is also to be subject to regeneration.

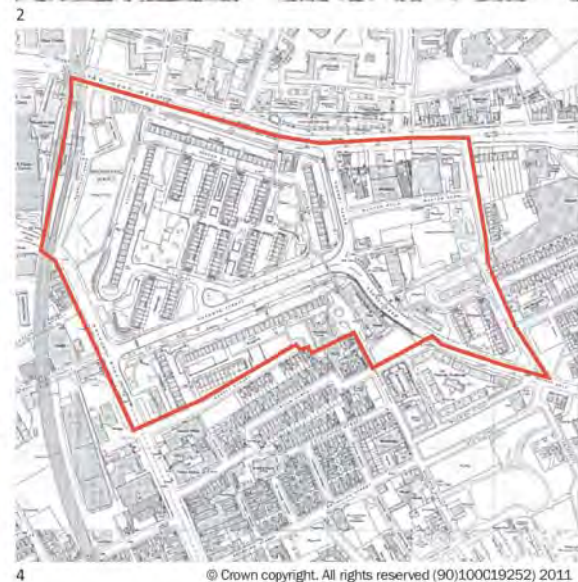
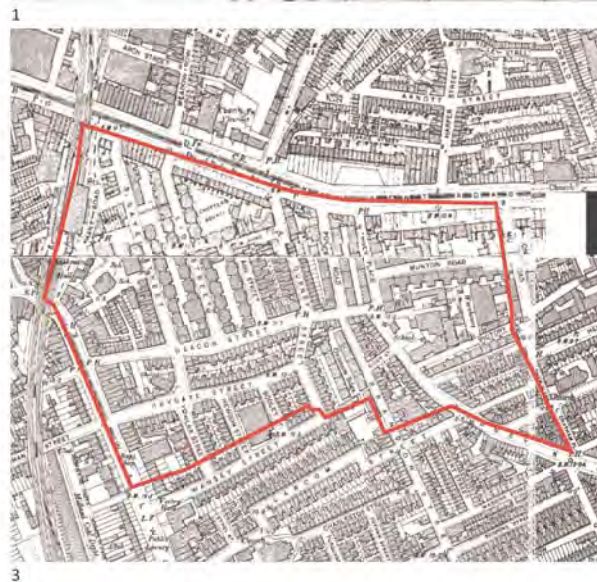


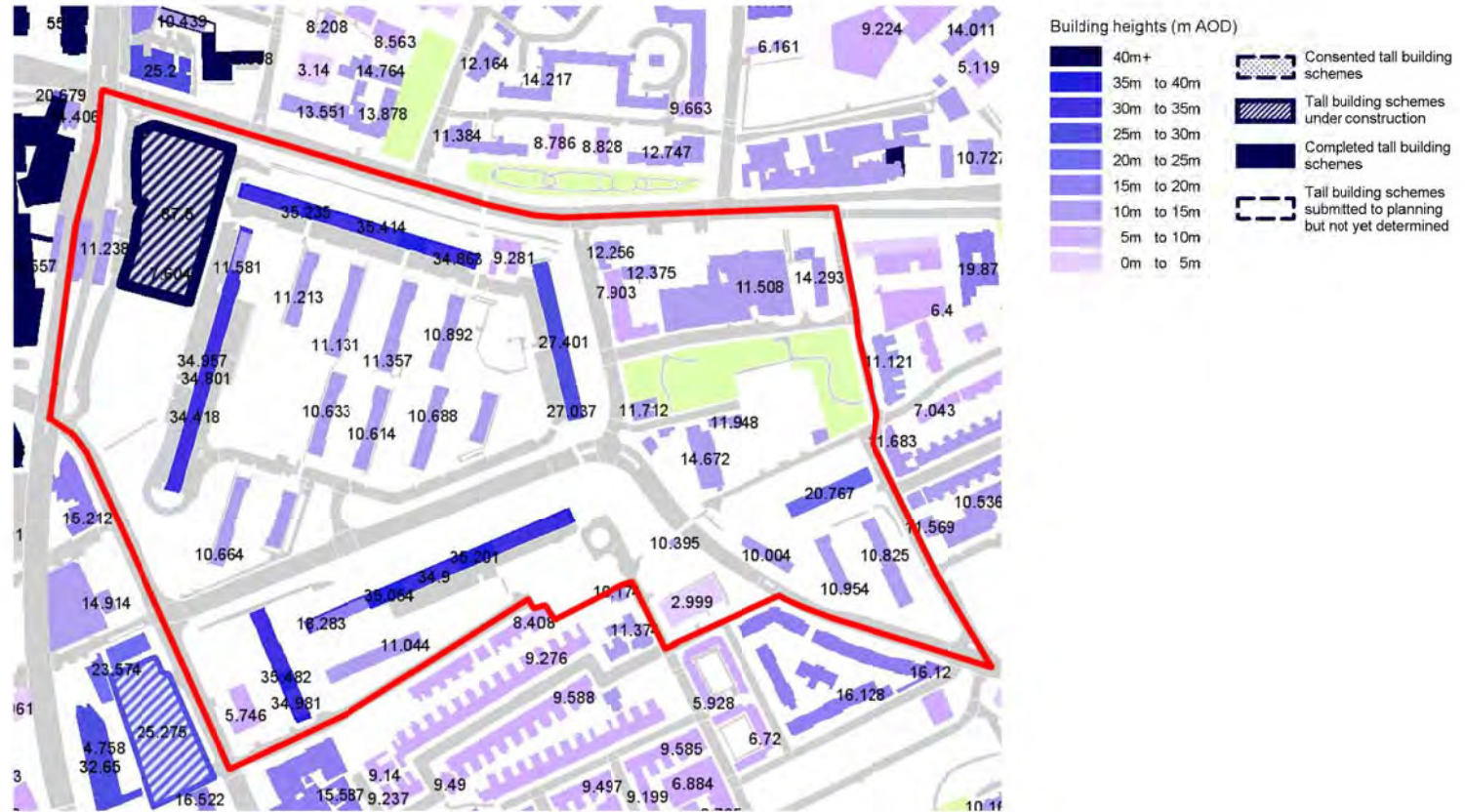
Figure 27: Historic Mapping:
1 1766, 2 1830, 3 1896, 4 1977

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Character Area 2: Heygate Street

Built Form

- 6.23 Given the commitment to demolish the Heygate between now and 2014, the built form of the Estate is largely of historic interest as an example of large scale social housing architecture of late 1960s (when it was designed). The perimeter of the estate comprises long monolithic slab blocks with deck access rising to 12 storeys (Fig. 28). Lower three and four storey maisonette blocks and communal gardens (where the landscape includes many mature trees) provide the “infill” to the perimeter blocks. Wingrave complements the low rise infill housing of the Heygate. Materials are generally low-grade with blocks constructed of concrete and strip windows.
- 6.24 Other building types, typically 19th Century in origin, remain around Munton Street and fronting New Kent Road. Some recent residential blocks have also been introduced. The area includes a Victorian school and public house and some remaining terraced houses fronting New Kent Road and Munton Road (see the audit). These remnants create a more typical street pattern with buildings either at back edge of pavement or enclosed by boundary walling/fencing (Victory Primary School and 122-142 New Kent Road). Buildings are generally three-four storeys (the new build on New Kent Road rise to five and six storeys) and constructed of London stock brick or red brick.



Character Area 2: Heygate Street

Views

6.25 The slab blocks are of a scale that they close or intrude on a number of views from the surrounding area and are prominent from the railway station, further reinforcing the inward nature of the estate (Fig. 29). The only views within the area are at the western edge of the area looking north along Walworth Road to the Central Area tall buildings (view 2, Fig 29) and from further south on Rodney Road (view 1). This is a view towards the Peabody Buildings (with potential for local listing) on what could be a significant node.

Urban Design and Movement

6.26 The design and layout of the Heygate Estate has created significant barriers to pedestrian movement at ground level, preventing access through the estate (Fig. 29). The network of high level walkways was the planned substitute for this but relies on a knowledge of the estate (and a willingness to read the estate plans at entrances) rather than being a naturally legible urban environment. The traditional street block approach to design, with clearly defined fronts and backs, is absent in majority of the character area. In particular, the alignment of Wingrave - perpendicular to Rodney Road rather than fronting the street - serves to weaken the spatial structure along Rodney Road and detracts from what could be an important node (Rodney Road/Stead Street/Orb Street/Wadding Street/Balfour Street). There is a poor relationship between Wingrave and the Peabody Buildings within the Brandon Street character area opposite.

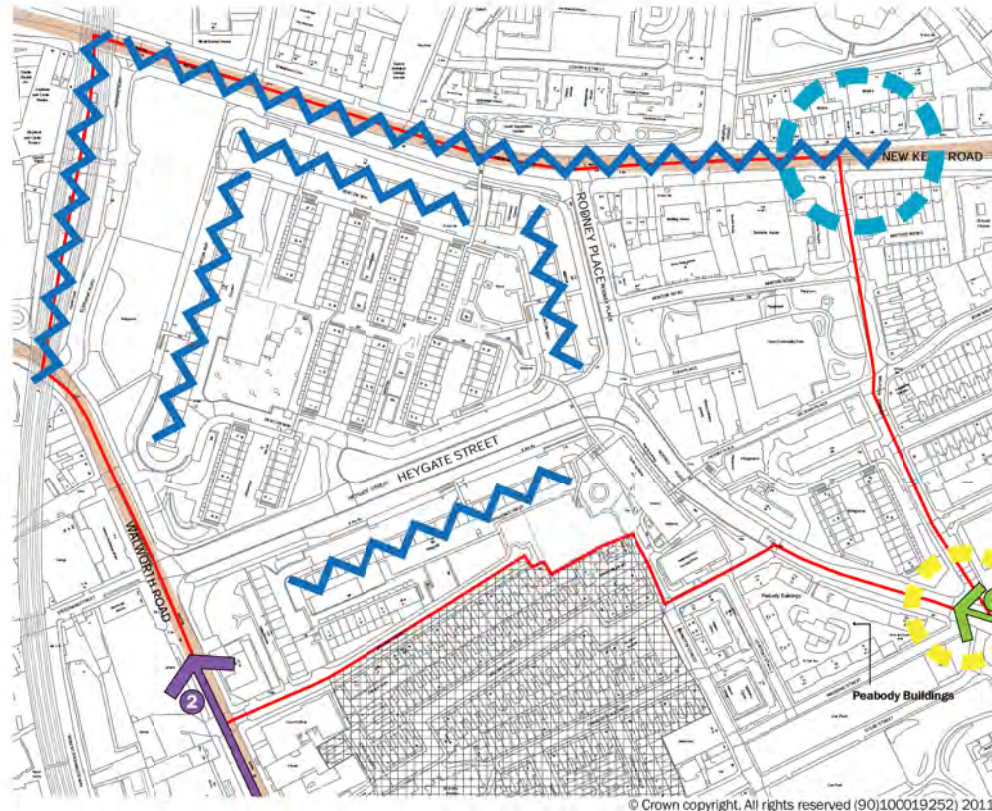


Figure 28: Townscape Analysis

Heygate Street Character Area



Potential Conservation Area



Primary Route (A Road)



Noxes



Key Gateway



Barriers



Orientation view and vistas



Views and vistas to historic buildings / structures or conservation areas



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Character Area 2: Heygate Street

Land Use

6.27 While the Heygate is now substantially vacant, the predominant land use is residential with some limited community retail and service facilities around Munton Road/New Kent Road (Fig. 30).

Landscape and Open Space

6.28 There are two areas of landscaped open space - Elephant Road Park (0.4ha) and Victory Community Gardens (0.5ha). The latter was created in the 1970s after clearance of 19th Century buildings, including a rag factory. It is now protected by Council policy.

6.29 Informal landscape spaces are provided by the communal estate gardens. These were intended for residents use only, reinforcing the disconnection of the estate from the surrounding area. As noted above, mature planting contributes significantly to the character of the estate gardens. Despite the original design, wide pavements with grass verges and mature tree planting along Heygate Street and Rodney Place are today a significant feature of the area. The mature trees on Victory Place, together with the mature trees within the Victory Place community gardens, provide a green setting to the listed building and school and contribute to a higher quality townscape in this area.

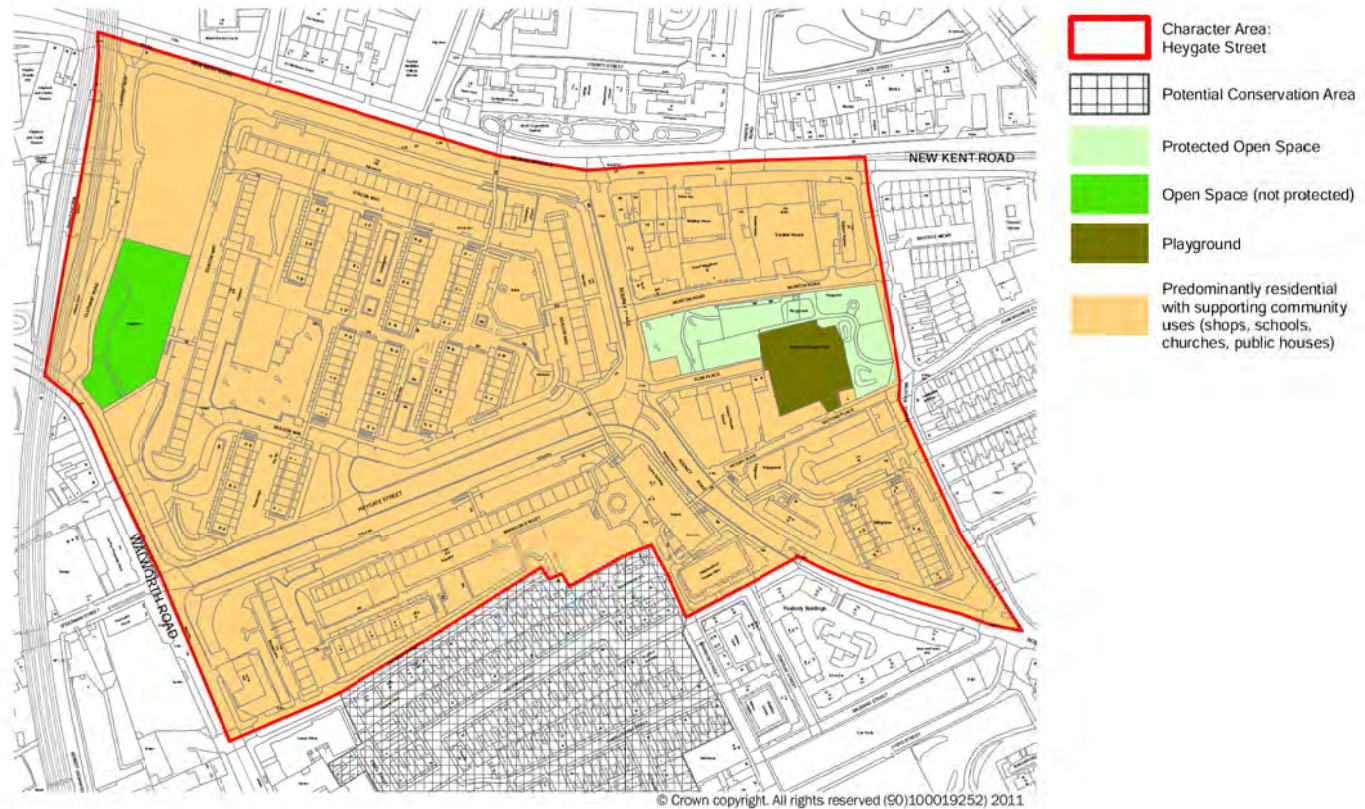


Figure 30: Land Use

Character Area 2: Heygate Street

Heritage Assets

- 6.30 Some heritage assets remain to the east of Rodney Place (Fig. 32). No 6 Victory Place is a grade II listed, three storey early Victorian house which was originally chambers for single men. Victory Primary School, a Victorian London stock brick school enclosed by a high brick wall, forms part of its setting and could be included in the local list. The Crown and Anchor pub fronting New Kent Road is suitable for local listing. The adjacent 19th Century buildings, including terraces set back from the road, are considered buildings of townscape merit. This cluster of assets contributes to a higher quality townscape in contrast to the remainder of the character area.
- 6.31 Nos. 154-170 New Kent Road; Driscoll House, New Kent Road; and Lady Margaret Church, Balfour Street are all grade II listed buildings that form part of the eastern setting of the character area (Fig. 31).

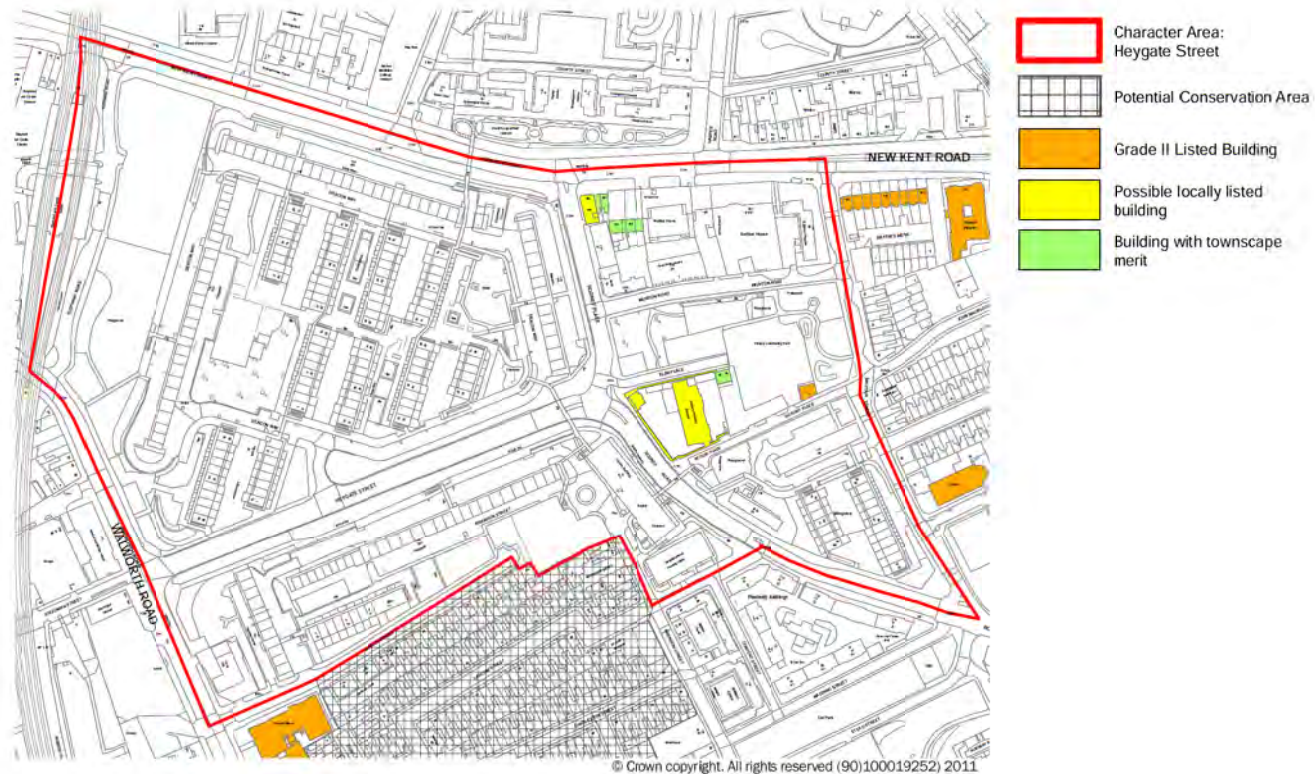


Figure 31: Heritage Assets

Character Area 2: Heygate Street

Opportunity Site

6.32 Most of the character area (Heygate and Wingrave) is an opportunity site to the extent that a decision has been made to clear and demolish these estates. The masterplan proposals, linked to the redevelopment of the shopping centre described above will involve the creation of a new mixed-use quarter including new public space provision and a remodelled Heygate Street. Oakmayne Plaza, immediately adjacent to the eastern side of the viaduct, is currently under construction, this comprises the erection of three towers up to 23 storeys and associated public realm works at ground level. Other opportunities, either through demolition and redevelopment, or through refurbishment are evident around Munton Road/Elba Place (Fig. 32).

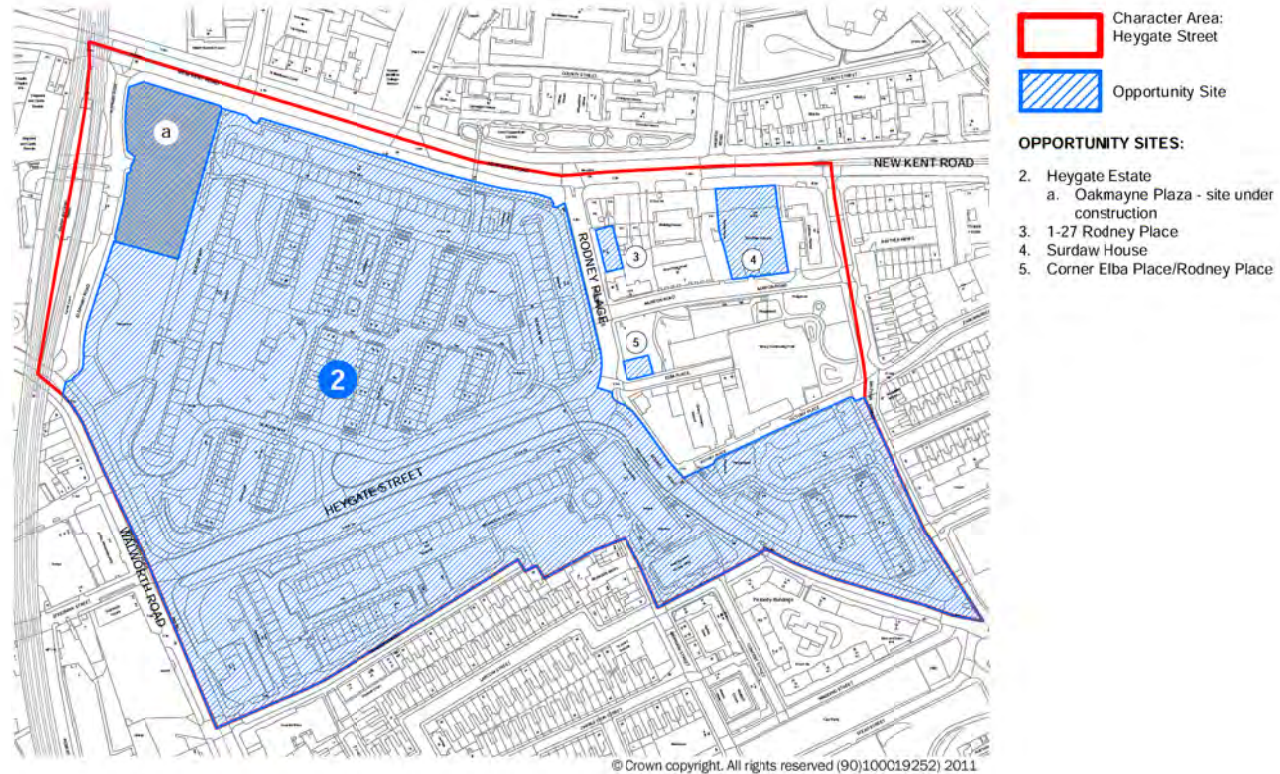


Figure 32: Opportunity Sites

Character Area 3: Rail Corridor

6.33 **Summary:** A former light industrial area surrounding the viaduct with more recent high-density mixed-use blocks. The viaduct creates a barrier from east to west. A variety of building types are characteristic with tall (up to 10 storey) contemporary blocks clad in various colours a distinctive feature.

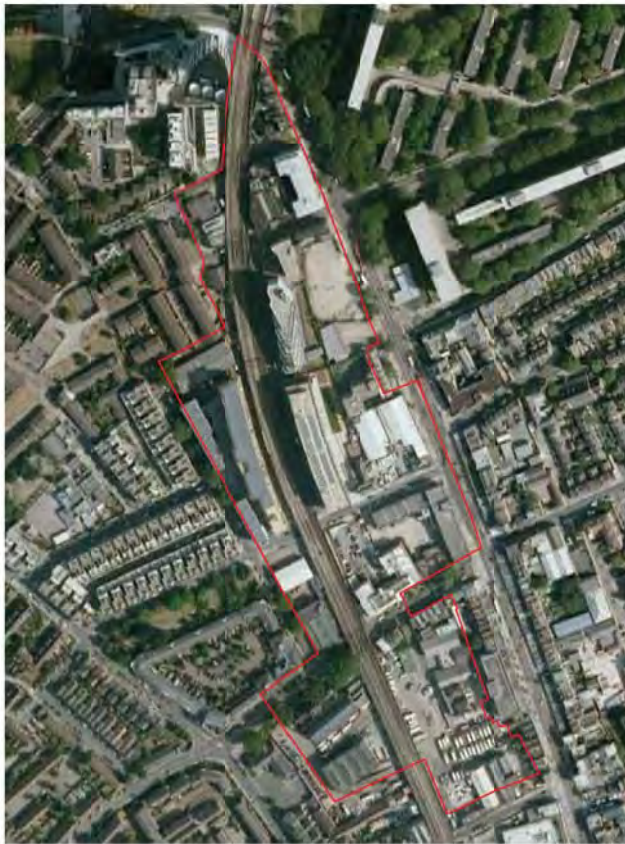
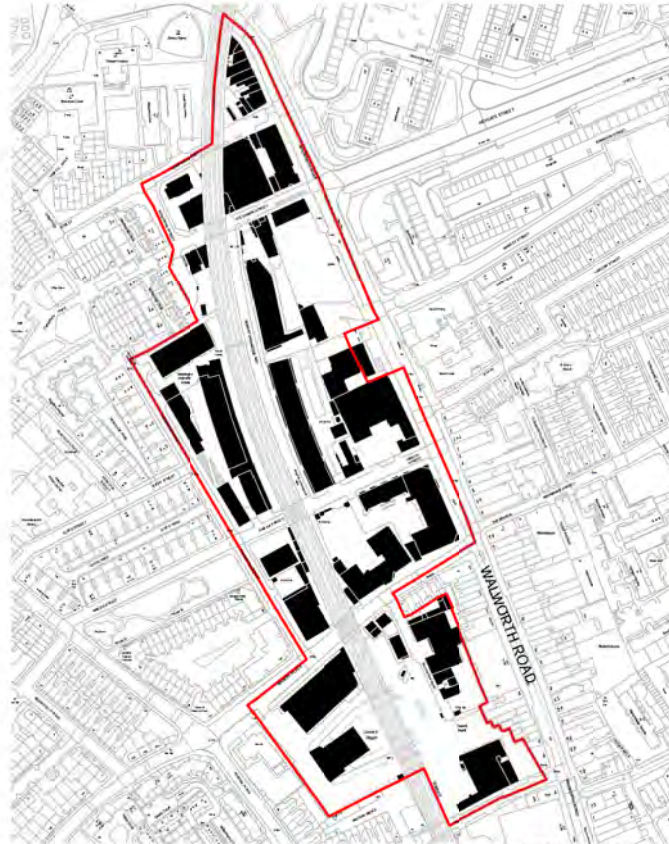
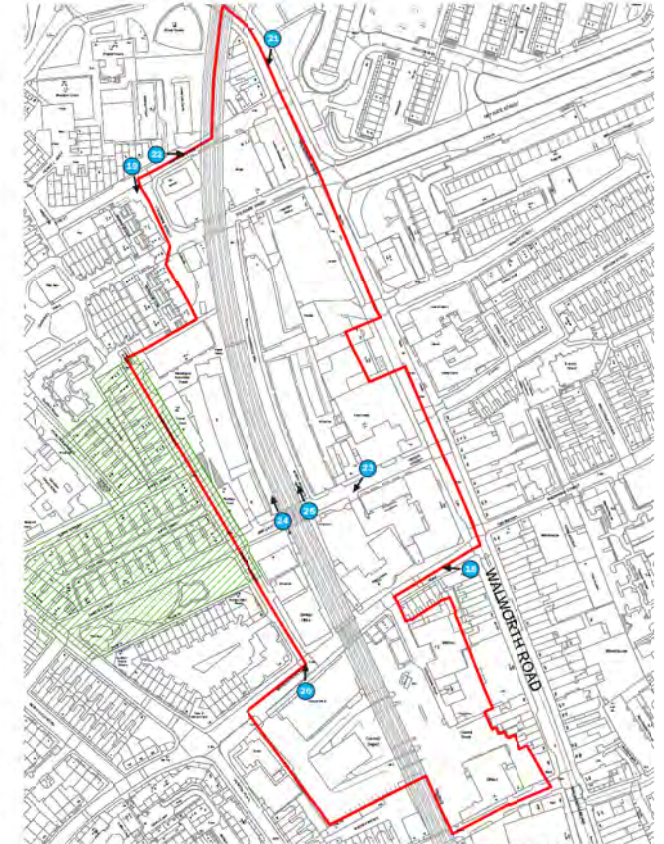


Figure 33 - Aerial Photo



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Figure 34 - Figure Ground



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Photograph Location Plan 3

Character Area 3: Rail Corridor



Photo 18: Police Station, Manor Place



Photo 19: Steedman Street



Photo 20: Sorting Office, Crampton Street



Photo 21: Nos. 82-96 (evens) Walworth Road



Photo 22: Hampton Street



Photo 23: Amelia Street, rear of Police Station



Photo 24: C Central, Crampton Street



Photo 25: Printworks, Robert Dashwood Way

Character Area 3: Rail Corridor

Historic Development

6.34 In terms of historical development (Fig. 35), in 1862 the London, Chatham and Dover Railway was built through the fine grain of streets and plots which had evolved from the 18th Century. This involved the selective demolition of residential plots. The latter gradually eroded around the line with the development of commercial sites and depots resulting in larger plots and a coarser grain of development. As the land values for residential uses have recovered, alongside the decline of the viability of smaller scale commercial uses, new residential schemes have been inserted alongside the railway viaduct.

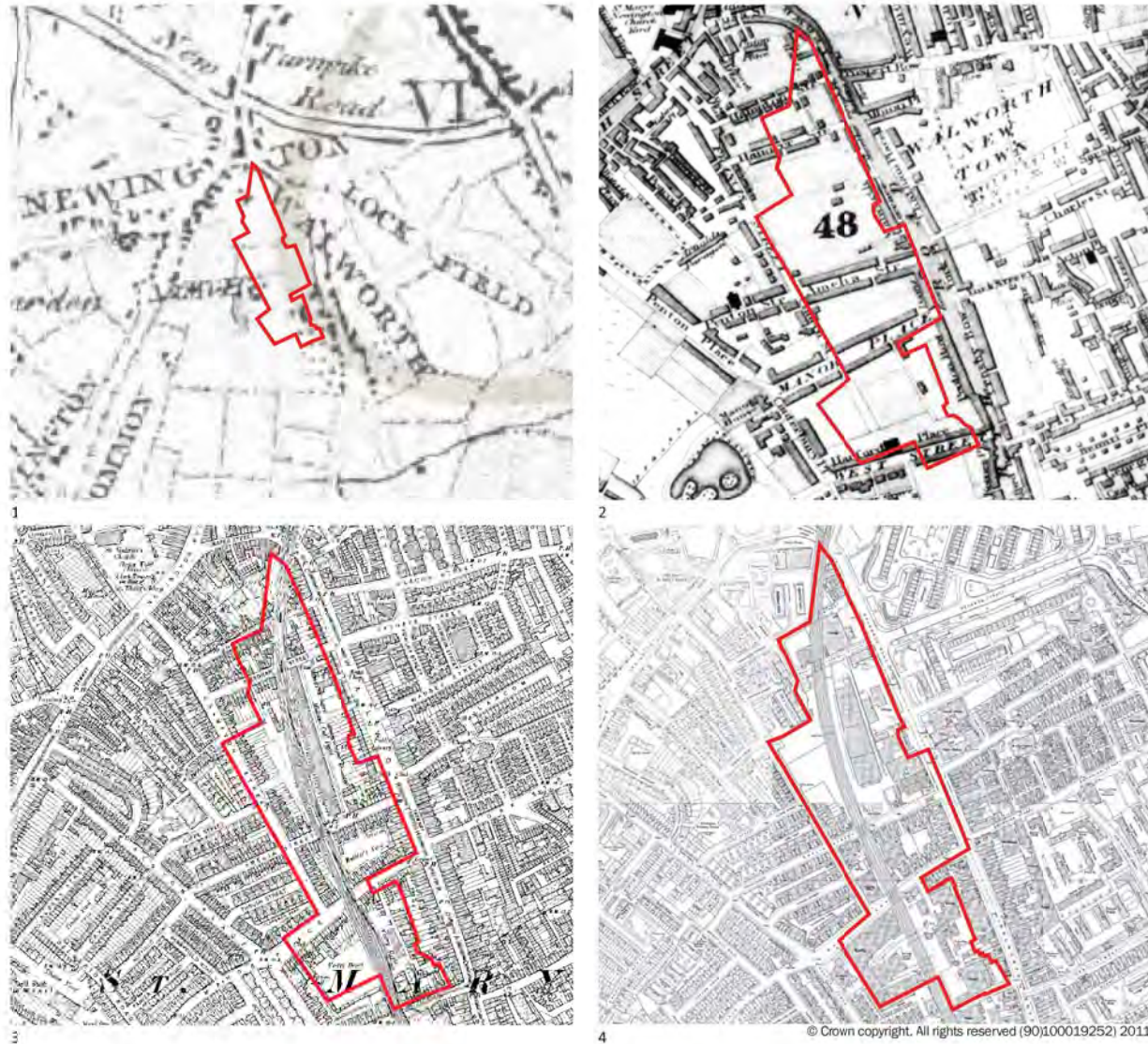


Figure 35: Historic Mapping:
1 1766, 2 1830, 3 1896, 4 1977

Character Area 3: Rail Corridor

Urban Design & Movement

6.35 The historic street pattern and urban design of the area was disrupted by the building of the railway. The viaduct is therefore a significant barrier to movement (Fig. 36). Whilst some historic through streets remain crossing the character area from east to west (Steedman Street, Amelia Street and Manor Place) these links could be improved. The 2004 SPG envisaged a new link connecting from the northern end of Crampton Street through to Robert Dashwood Way and Walworth Road. Successful improvement of east-west movement will rely on the quality of individual development sites and connecting public realm.

Views

6.36 With regard to views, the viaduct constrains views across the character area itself and beyond to the wider Opportunity Area. A view is gained towards the clock tower and chimney of the former Manor Place public baths southwards from Crampton Street on the western edge of the character area (see view 1, Fig. 36). Views towards the Central Area tall buildings on the eastern edge, along Walworth Road, are also available (view 2).

Built Form

6.37 The built form is varied but is generally aligned to the back edge of pavement to enclose the streets (Fig. 34). Boundary walls and gates (enclosing works/light industrial uses to the centre of the street blocks) are also a feature of the streetscape. The area has a coarse urban grain. Generally buildings have large footprints (residential blocks, police station, depots and works) and particularly towards the south of the character area have associated hard-surfaced space within the plots. The building types and forms are highly varied with commercial buildings in various styles and materials, typically up to three storeys (Fig. 37). The recent residential interventions are taller, linear forms, straddling the railway viaduct and rising to 10 storeys. Materials include London stock brick, yellow and red late 20th Century brick, metal industrial units and contemporary cladding of various shades and finishes.

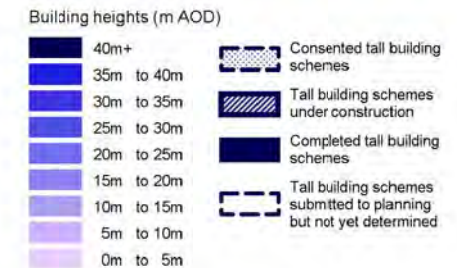
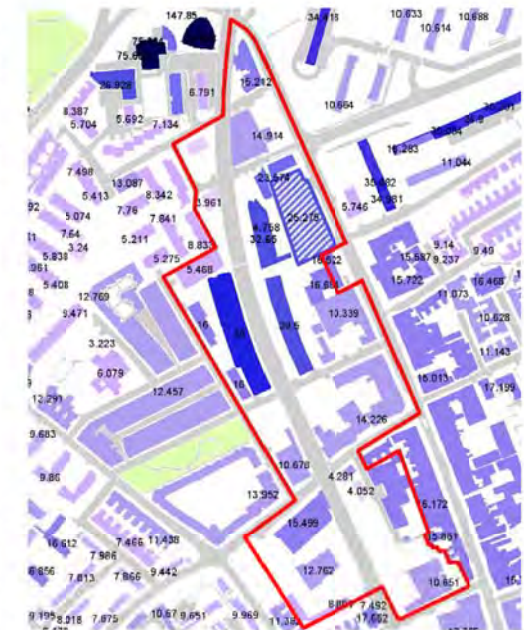
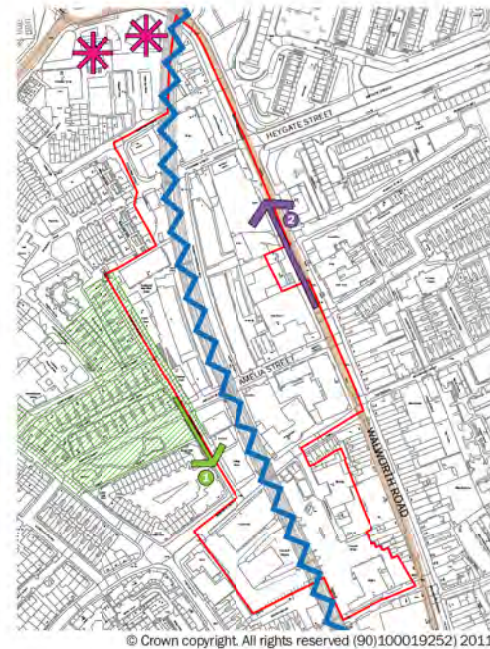


Figure 36: Townscape Analysis

Figure 37: Building Heights

Character Area 3: Rail Corridor

Land Use

6.38 Land uses also remain varied with a Council depot, light industrial and storage uses alongside the recent residential developments, a pub, a police station and a nursery school (Fig. 38).

Landscape and Open Space

6.39 The area is densely developed and straddles the railway viaduct. Consequently there is no landscaped open space (Fig.38). Street trees are sporadic. Where they are evident - Crampton Street, Manor Place and Steedman Street and a single tree to the front of the buildings of townscape merit at the northern end of Walworth Road - they are generally mature London Plane trees that complement the architecture and street pattern and serve to soften and improve the urban environment. The quality and condition of the public realm is generally poor.

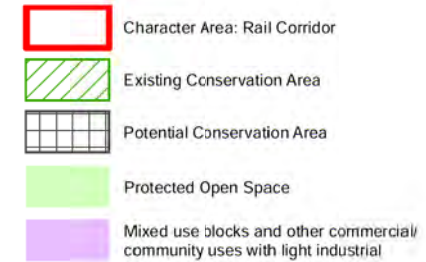
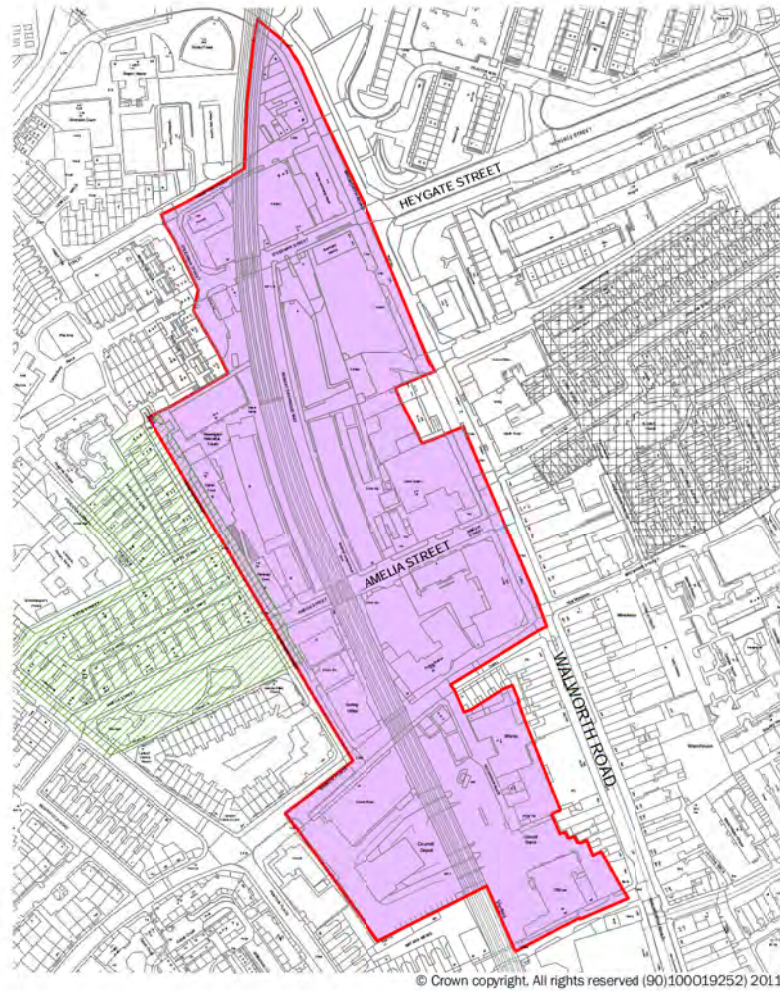


Figure 38: Land Use

Character Area 3: Rail Corridor

Heritage Assets

6.40 There are a number of designated and undesignated heritage assets (Fig. 39). The grade II listed late Victorian former Public Baths on Manor Place (1895) is a three storey red brick building with terracotta dressings. This forms a significant feature in the street although development of limited quality has eroded its setting. The setting of the three storey Tankard pub on Amelia Street (a possible candidate for local listing) is now dominated by large scale buildings. The service entrance to the police station further erodes its setting. As shown on Fig. 39 the remaining 19th Century buildings plus the "Printworks", a recent development of high architectural quality, are considered as buildings of townscape merit.

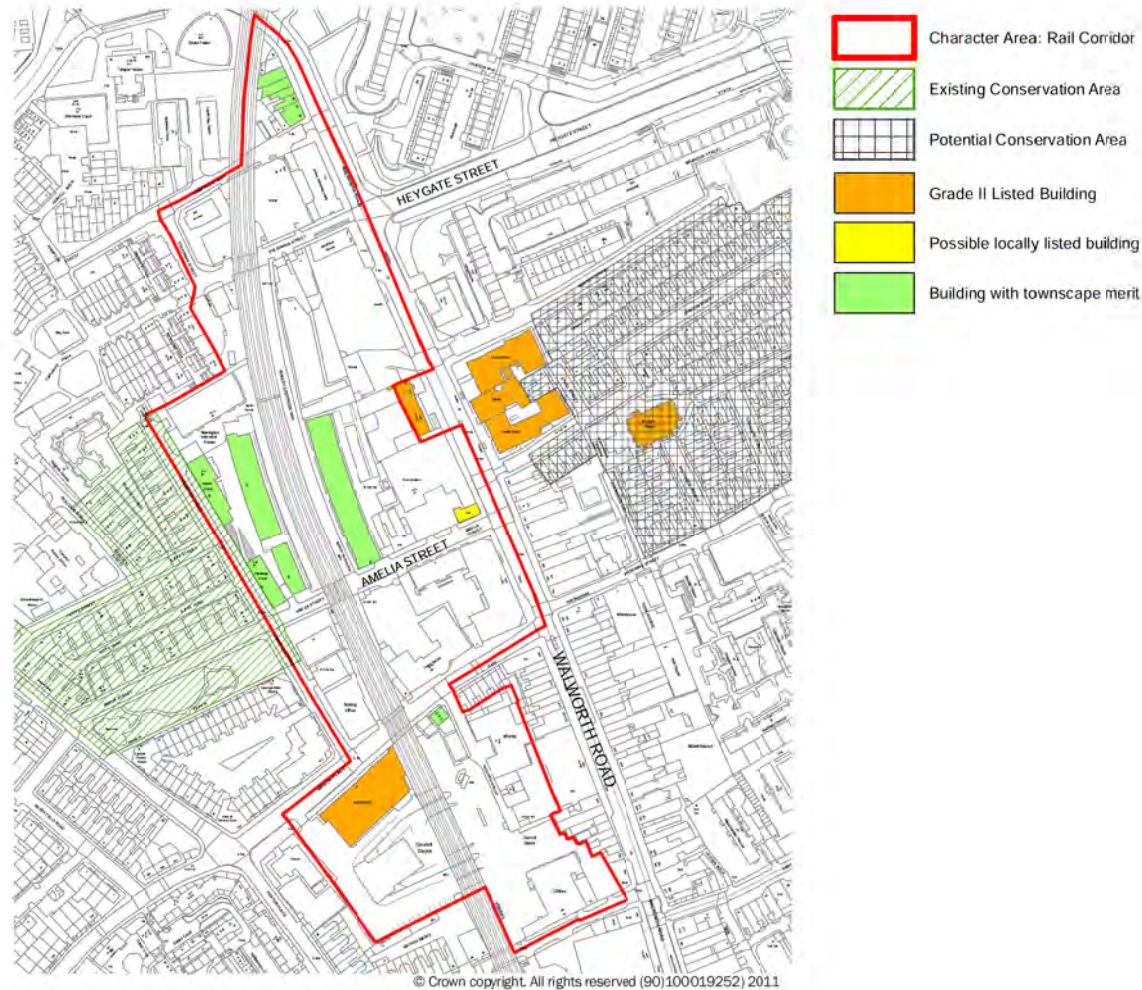
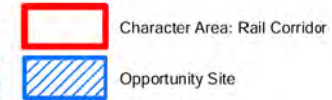
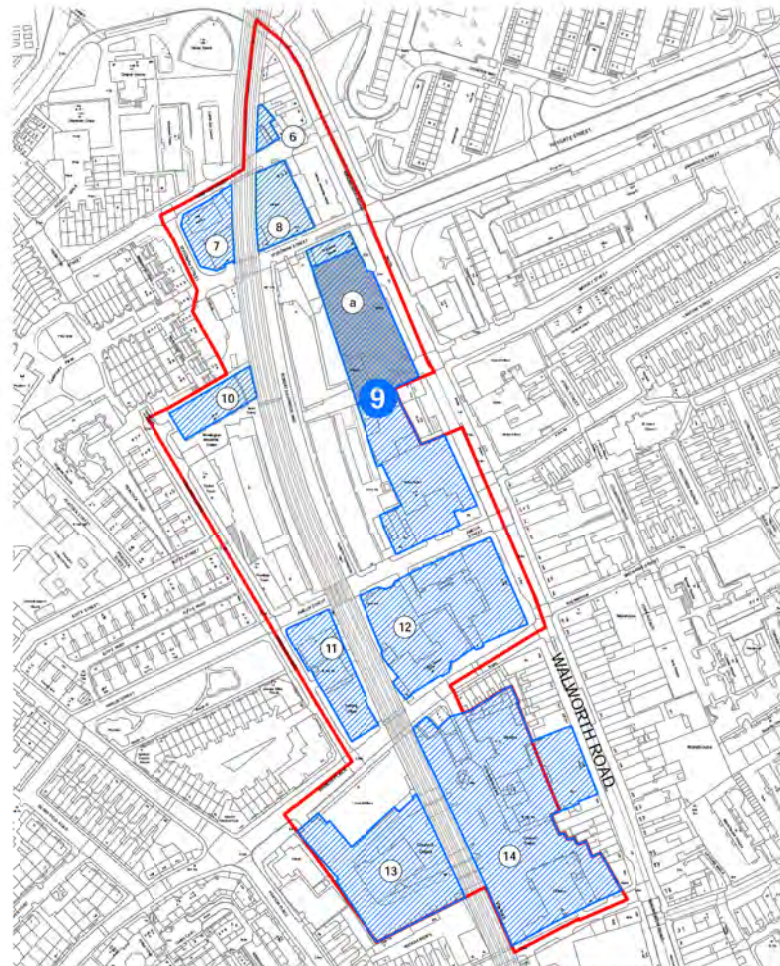


Figure 39: Heritage Assets

Character Area 3: Rail Corridor

Opportunity Sites

6.41 There are a range of potential opportunity sites in the area (Fig. 40). These include the sites straddling the viaduct and in use for non-residential purposes (e.g. the Council depot to the rear of the former Manor Place Baths) as well as the gap site and limited quality late 20th Century buildings fronting Walworth Road (e.g. Chatelaine House).



OPPORTUNITY SITES:

- 6. Hampton Street between No. 6 and the Viaduct
- 7. Day Nursery and 20 Steedman Street
- 8. 2-10 Steedman Street
- 9. T. Clarke Building/Extension to John Smith House/Police Forensics Lab and Hotel on Amelia Street
 - a. 120-138 Walworth Road - site under construction
- 10. Newington Industrial Estate
- 11. Sorting Office and 31 Amelia Street
- 12. Police Station and Chatelaine House
- 13. Land to the rear of the former Manor Place Baths
- 14. Occupation Road

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Figure 40: Opportunity Sites

Character Area 4: Enterprise Quarter

6.42 **Summary:** This area, to the north of the Central Area, comprises a cluster of generally large-scale educational blocks forming the London South Bank University (LSBU) campus. Other retail and commercial units surround the campus, fronting Newington Causeway and St. George's Circus. St. George's Circus is an example of Georgian town planning and is a designated conservation area.

6.43 The Enterprise Quarter is dominated by the LSBU campus. The University straddles the series of streets intersecting the area and the railway viaduct.

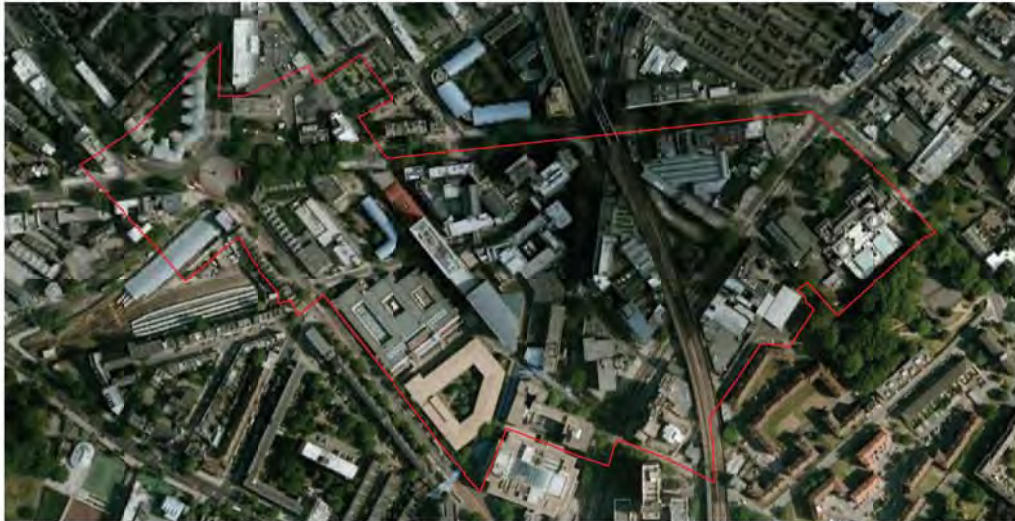


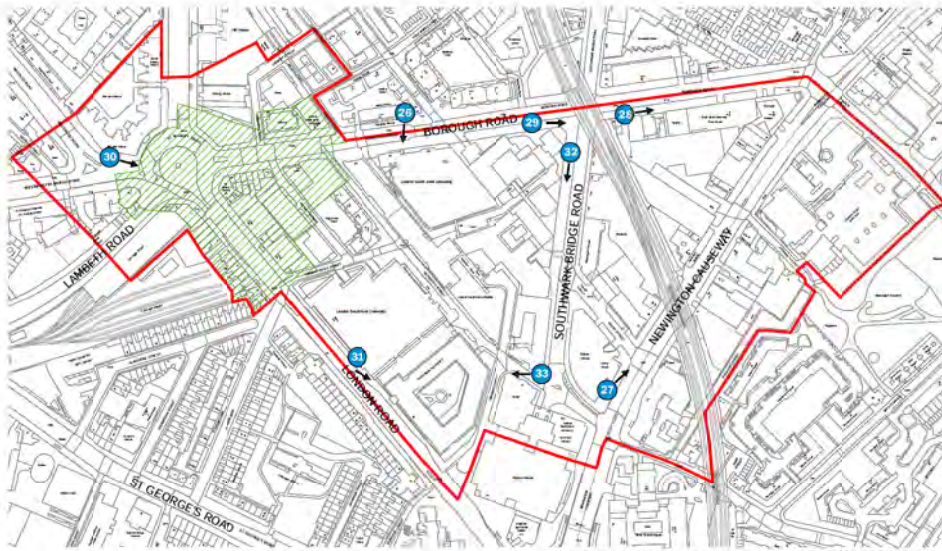
Figure 41 - Aerial Photo



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Figure 42 - Figure Ground

Character Area 4: Enterprise Quarter



Photograph Location Plan 4

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Photo 26: London South Bank University, Borough Road



Photo 27: Newington Causeway



Photo 28: Diary House, Borough Road

Character Area 4: Enterprise Quarter



Photo 29: Victorian rail bridge, Borough Road



Photo 31: London South Bank University, London Road



Photo 30: St. George's Circus



Photo 32: Southwark Bridge Road,



Photo 33: London South Bank University, Keyworth Street

Character Area 4: Enterprise Quarter

Historic Development

6.44 With regard to historical development, in common with the character areas described above, the area was largely undeveloped until the 18th Century (Fig. 43). The key streets are seen on the 1766 map - what are now St. George's Road and Newington Causeway with limited development fronting the road northwards to London Bridge. The area was known as St. George's Fields after the nearby church of St. George the Martyr. St George's Circus and its obelisk are examples of Georgian town planning, the Circus being part of the wider street layout works associated with Blackfriars Bridge (opened in 1769) and aligned with it. By the late 19th and early 20th Centuries, the area had been more intensively developed with housing and institutional uses including the South London Sessions Courts (although a court has been on this site since at least the early 19th Century) and the Borough Polytechnic Institute (to become South Bank Polytechnic and then London South Bank University). In the post war period, much of the street housing was cleared and the University expanded with a series of academic and student buildings.



Figure 43: Historic Mapping:
1 1766, 2 1896, 3 LCC Bomb Damage Maps 1939-1945, 4 1977

Character Area 4: Enterprise Quarter

Urban Design and Movement

6.45 The centre of the character area is largely taken up with university buildings with earlier phases of development, mainly commercial uses, to the east (Borough Road) and west (St George's Circus). The large footprints of the buildings in this area hinder movement (Fig. 44). The viaduct crosses the area which limits east-west movement from Southwark Bridge Road to Newington Causeway. Many of the LSBU buildings have very poor street frontages with limited activity. The inward looking nature of the LSBU campus, particularly evident on London Bridge Road and Southwark Bridge road, creates a poor gateway to the Opportunity Area and the Elephant and Castle Central Area, an issue to be address in any redevelopment proposals which come forward.

Views

6.46 There are gateway views into/out of the Opportunity Area along Blackfriars Road and Newington Causeway (see nos. 1 and 2, Fig 44). Additionally, looking north along Newington Causeway there are views to St George the Martyr's Church (outside the Opportunity Area) and the emerging Shard at London Bridge beyond (view 6). The only real example of planned views within the Opportunity Area arises from St. George's Circus where the views from the radiating streets towards the obelisk were an integral element of the Georgian street plan (view 5). The painted Victorian railway bridge (identified for local listing) features in views along Borough Road (view 4) and Southwark Bridge Road (view 3). Looking south and south-east from Newington Causeway (view 8) and London Road (view 7) there are orientation views of the tall building cluster around Elephant and Castle including the Strata tower. The regeneration of the Central Area is likely to give added emphasis to this cluster.

Built Form

6.47 In terms of built form, within the surviving 19th Century main street pattern, the finer grain of historic development has given way to larger footprint buildings (Fig. 42). There is a large variation in height from one to 21 storeys (the Salvation Army building) (Fig. 45). In places, low-rise buildings occupy key locations. London South Bank University (LSBU) buildings are typically up to 10 storeys. LSBU occupies buildings in disparate styles from the stripped 1930 neo-classical of the Borough Road building to the aggregate concrete panels of examples such as Eileen House and the Perry Library. Elsewhere 19th Century terraces are seen to the south of St. George's Circus. These are of a domestic scale (predominantly three storeys with basements and mansard roofs) with commercial uses at ground floor. Early 20th Century buildings including the LSBU Diary House and adjacent Church form a positive grouping of buildings of varied styles. Materials vary throughout the area. Red and yellow brick, painted stucco, stone dressings and more contemporary materials, such as glazed curtain walling, are evident.

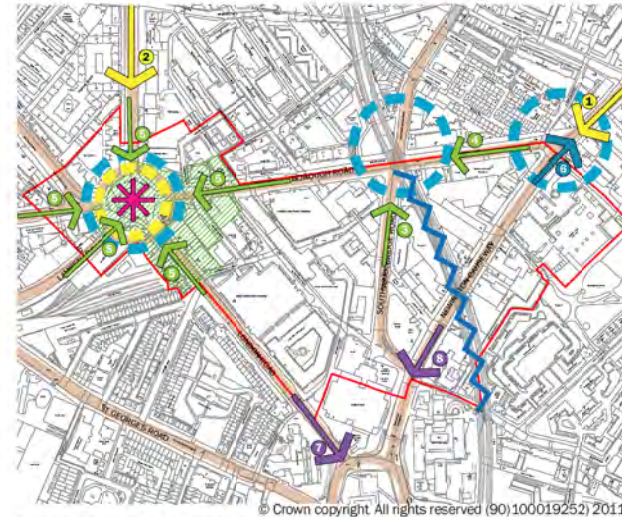


Figure 44: Townscape Analysis

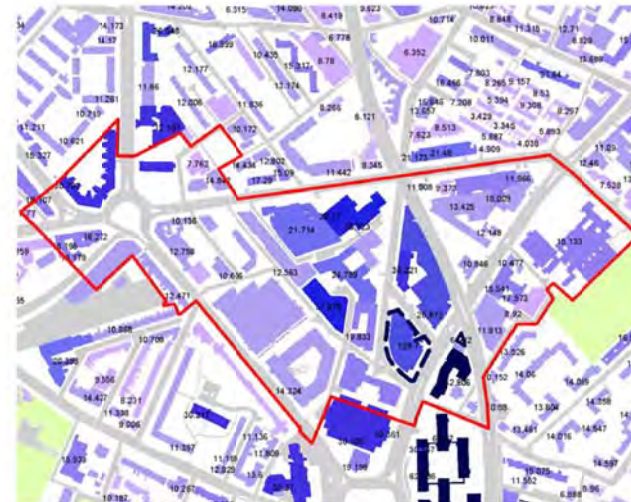
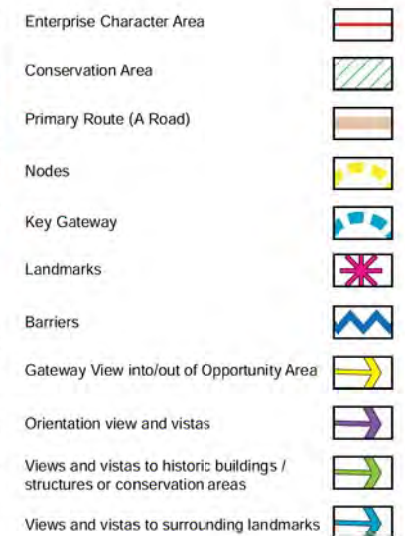
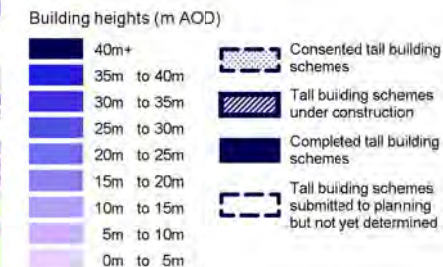


Figure 45: Building Heights



Character Area 4: Enterprise Quarter

Land Use

6.48 With the exception of the retail frontage to the south of St George's Circus on London Road (west), the new H10 hotel opposite, the Ministry of Sound nightclub on Gaunt Street and the Sessions House on Newington Causeway, the land use mix of the area is mainly devoted to university and commercial office buildings. Some large employers are located on Borough Road (MORI) and the Salvation Army Headquarters abuts the viaduct on Newington Causeway (Fig. 46).

Landscape and Open Space

6.49 The area suffers from a lack of landscaped open space. Limited small scale areas are found in the LSBU Campus area, including what appears to be a fenced off temporary gap site on Keyworth Street/Borough Road. The public realm within the LSBU Campus is generally of poor quality and would benefit from enhanced soft and hard landscaping proposals. Mature London Plane trees are an important feature of the historic townscape and create a softening effect. These can be seen on Lambeth Road, Borough Road, London Road, Newington Causeway and Southwark Bridge Road (Fig. 41).

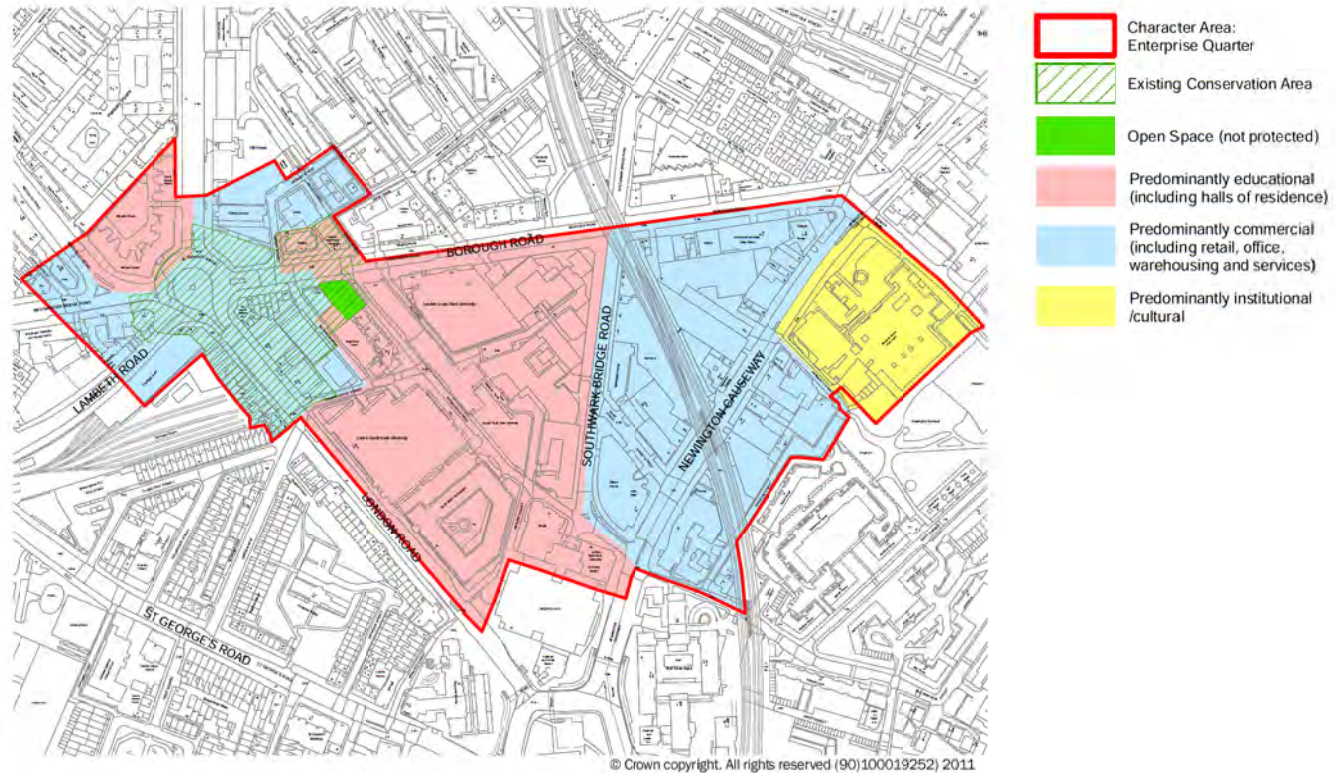


Figure 46: Land Use

Character Area 4: Enterprise Quarter

Heritage Assets

- 6.50 The area contains a number of designated and currently undesignated heritage assets (Fig. 47). The St George's Circus Conservation Area is located to the east of the character area. This includes a number of grade II listed terraced houses and the grade II* listed St George's Circus Obelisk.
- 6.51 The obelisk is the only grade II* listed structure within the Opportunity Area. It was erected in 1771, later moved to Geraldine Mary Harmsworth Park and returned to the circus in 1998.
- 6.52 The listed Georgian terraced housing forms an integral link to the Georgian urban planning of this area and together with the street structure forms the finest piece of townscape in the character area worthy of conservation area designation status.
- 6.53 The imposing South London Sessions Court is also grade II listed. It is set back from Newington Causeway behind a wall and double gate piers. Newington Gardens to its rear (undesignated) was historically associated with the Sessions House as a site for public hangings.
- 6.54 A number of buildings have been identified as candidates for local listing (e.g Borough Road LSBU building), either through the existing draft local list or as part of the fieldwork undertaken for this study. A further series of buildings has been identified with potential as Buildings of Townscape Merit (Fig. 47 and audit).
- 6.55 Peabody Square, Blackfriars Road and the Goose and Firkin pub, Hanover House and 62 Borough Road are all grade II listed buildings that lie outside the northern boundary of the character area but form part of its setting (Fig. 47).

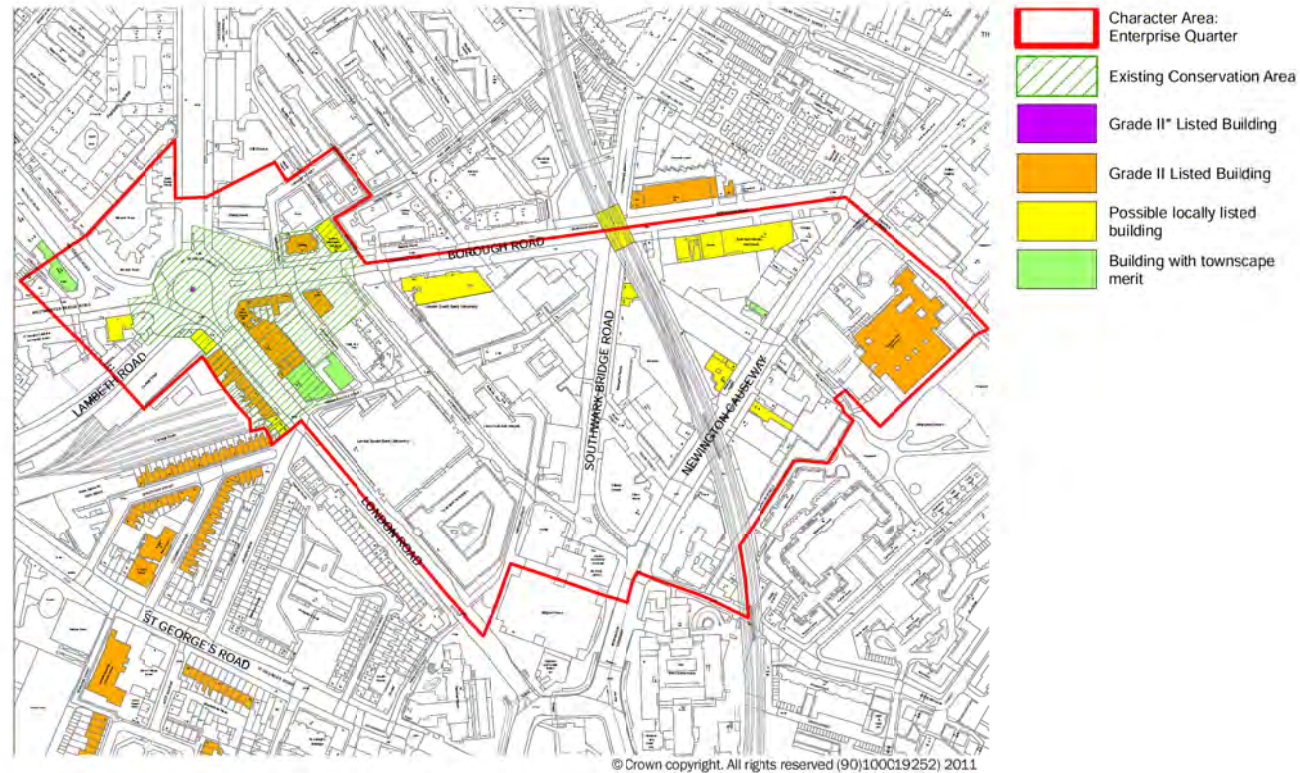
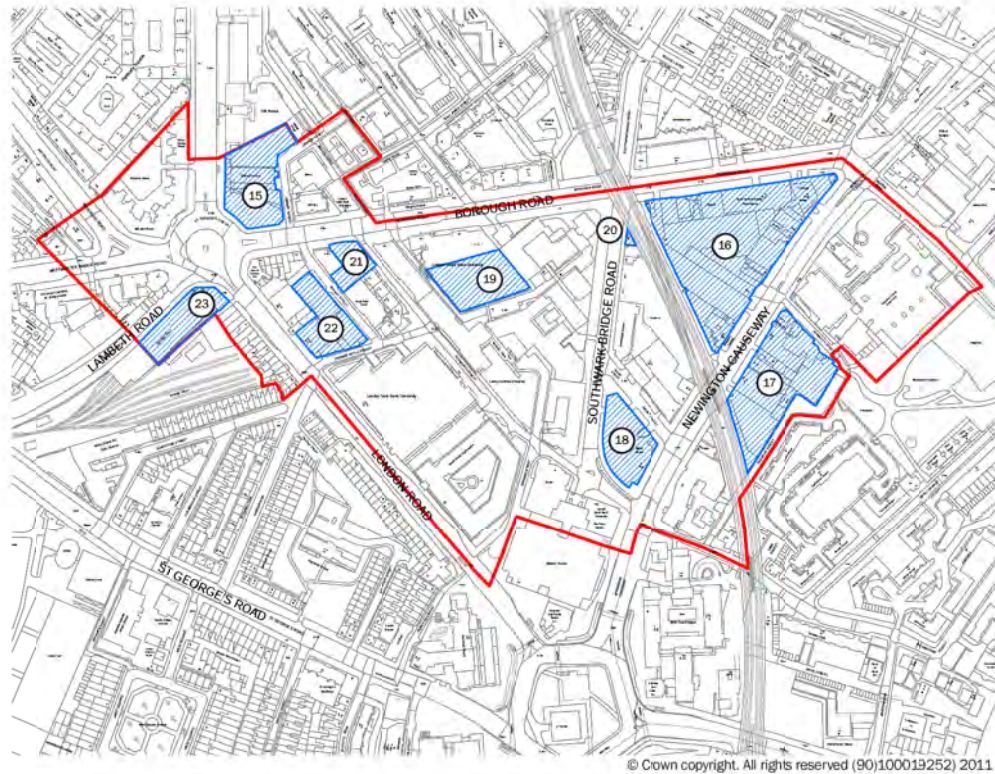


Figure 47: Heritage Assets

Character Area 4: Enterprise Quarter

Opportunity Sites

6.56 The area contains a number of opportunity sites (Fig. 48). These include the former BT building and adjoining vacant site at St George's Circus, sites within the LSBU campus and land to the south-east of Newington Causeway, to the east of the viaduct.



OPPORTUNITY SITES:

- 15. Erlang House
- 16. Newington Triangle
- 17. 57-87 Newington Causeway/Avonmouth Street
- 18. Eileen House
- 19. Rear of London South Bank University Building
- 20. 229 Southwark Bridge Road
- 21. Corner of Key Street/Borough Road
- 22. Corner of Thomas Doyle Street/Rotary Street
- 23. London Underground Depot Carriage Shed

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Figure 48: Opportunity Sites

Character Area 5: Rockingham

6.57 **Summary:** This is an area that is predominantly characterised by inter-war and later London County Council (LCC) housing blocks (typically in brick and rising to five storeys with tiled, pitched roofs) set in landscaped grounds. Other later housing is also evident. Consistency

is introduced throughout the area through the predominant use of brick. The large-footprint estate housing blocks has reduced permeability to the main highway network.



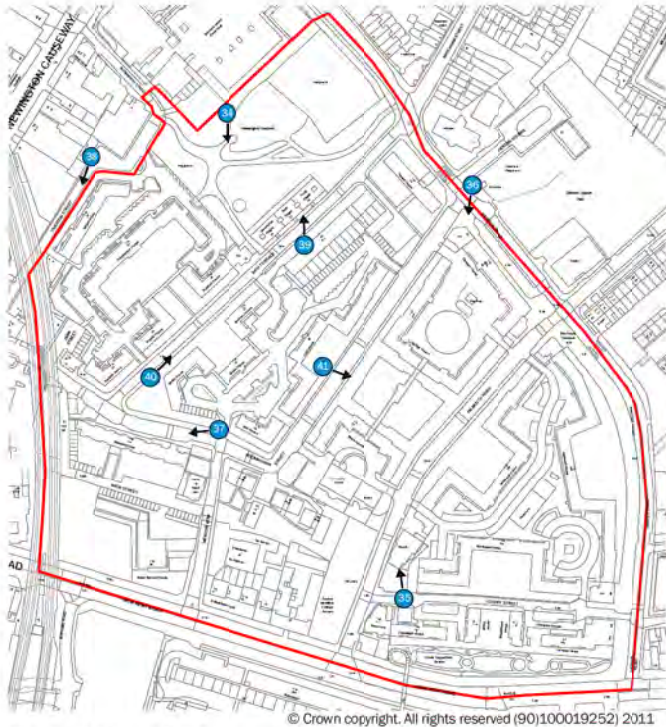
Figure 49 - Aerial Photo



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Figure 50 - Figure Ground

Character Area 5: Rockingham



Photograph Location Plan 5

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Photo 34: Newton Gardens and Stephenson House



Photo 35: Former Welsh Presbyterian Chapel, Falmouth Street



Photo 36: Public House, 16 Harper Road



Photo 37: Smeaton Court, Rockingham Street

Character Area 5: Rockingham



Photo 38: Telford House, Tiverton Street



Photo 39: Devonshire, Bath and Trinity House, Bath Terrace



Photo 40: Banks House and Brunlees House, Bath Terrace



Photo 41: Rockingham Street, looking towards Whitworth House

Character Area 5: Rockingham

Historic Development

6.58 The Rockingham character area was largely undeveloped until the beginning of the 19th century, with development only evident on the 1766 map fronting Newington Causeway (Fig. 51). Its historical development from this point was rapid with the development of terraced streets of housing with some larger commercial premises fronting the Newington Causeway. A recreation ground was established to the northern edge of the area (south-east of the South London Sessions Courts) which remains today as Newington Gardens. This replaced land associated with the earlier Horsemonger Lane Goal. The nineteenth century street pattern began to be eroded in the inter-war years with the development of large blocks of flats. This pattern of redevelopment continued in the post war years establishing a predominance of large local authority housing blocks with intervening, landscaped, public space. Some remnants of nineteenth century development remain including the grade II listed 1888 Presbyterian Church on Falmouth Road and the Bath Terrace tenement blocks. Later development fronts New Kent Road including the 18 storey Albert Barnes House from the 1960s and the residential blocks together with Copperfield Garden. St Matthew's at Elephant is a modern place of worship with a minimalist iron bell tower.



Figure 51: Historic Mapping:
1 1766, 2 1896, 3 LCC Bomb Damage Map 1938-1945, 4 1977

Character Area 5: Rockingham

Urban Design and Movement

6.59 The large-footprint estate-housing blocks have reduced permeability to the main highway network, albeit much of the open space between the blocks is publicly accessible (Fig. 52). The wide road layout that carries light traffic only, dominates the area. The historic street legibility has been lost through replacement of back of pavement development with buildings set back within the blocks surrounded by landscaped areas. The lack of cohesiveness in terms of layout is most evident to the south of the character area, resulting from the incremental development from the late 20th Century.

Views

6.60 There are landmark views along Falmouth Street to the Shard and orientation views southwards to the Strata Tower signifying the Elephant and Castle Central Area (see views 1 and 2, Fig 52). There is also a view north from Bath Terrace to the listed Henry Wood Hall and Trinity Church Square conservation area (view 3). The Hall is a landmark beyond the Opportunity Area.

Built Form

6.61 In terms of built form, the area is dominated by interwar LCC and later housing blocks, typically in brick and rising to five storeys (Fig. 50 and 53) with tiled, pitch roofs. These blocks are robust and often set in mature landscaped settings. Later housing from the 1960s, for example on Arch Street, continues the brick theme and respects the overall height parameters set by the earlier schemes of redevelopment. An anomaly is Albert House, an 18 storey brick faced tower.

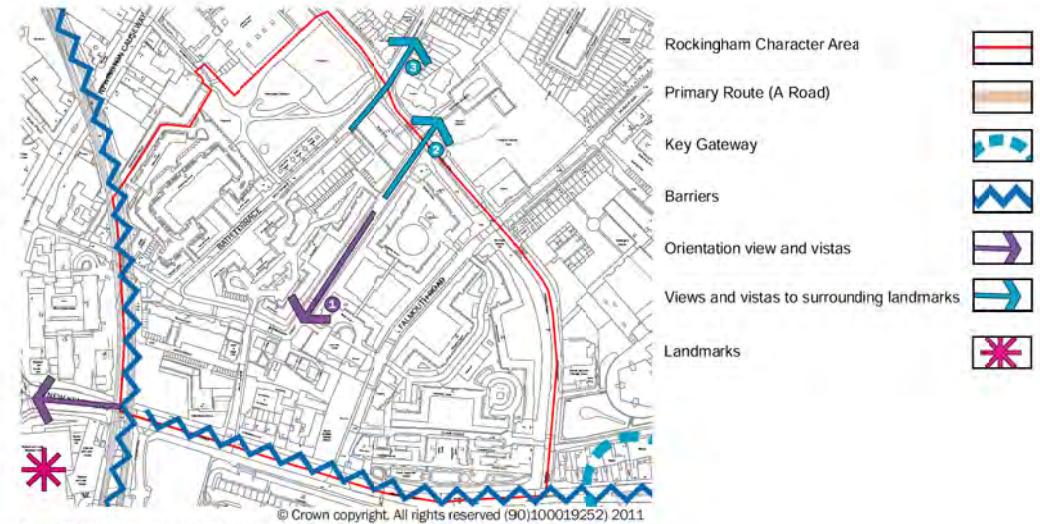


Figure 52: Townscape Analysis

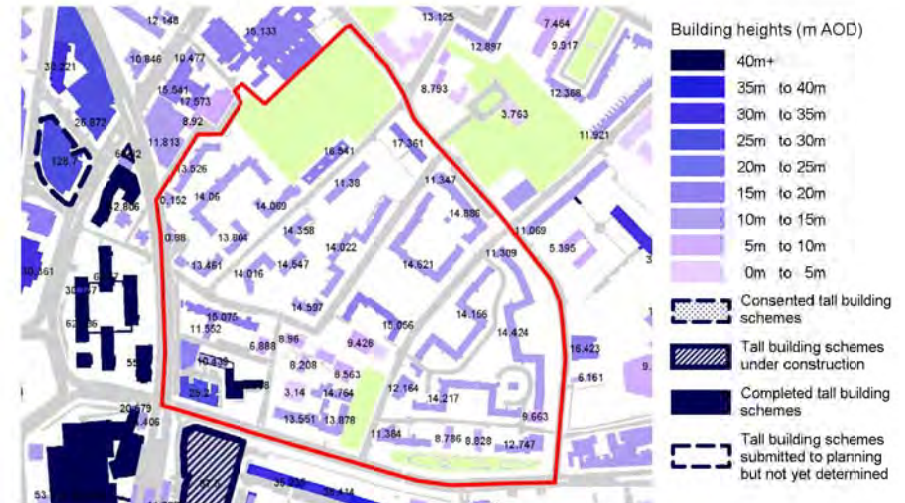


Figure 53: Building Heights

Character Area 5: Rockingham

Land Use

6.62 The predominant land use is residential (Fig. 54). There are isolated institutional uses including churches, estate pubs (in brick but differentiated in style from the adjoining blocks) and a small retail frontage on Harper Road.

Landscape and Open Space

6.63 The area is softened by extensive areas of well maintained but not elaborately planned or executed landscaped open space, set around the residential estate buildings (Figs. 49 and 54). London Plane trees feature within these areas. Newington Gardens is a Victorian open space with high quality soft and hard landscaping and impressive, mature, London Plane trees. David Copperfield's Gardens (linked by ramp to the Heygate Estate) has historically been an open space, with mature trees, but recently refurbished (Charles Dickens is closely associated with the area and it features in his novels). Falmouth Community Gardens has been created on the empty corner site of Falmouth Road. London Plane trees are also a feature on some of the historic streets - Falmouth Road and New Kent Road.

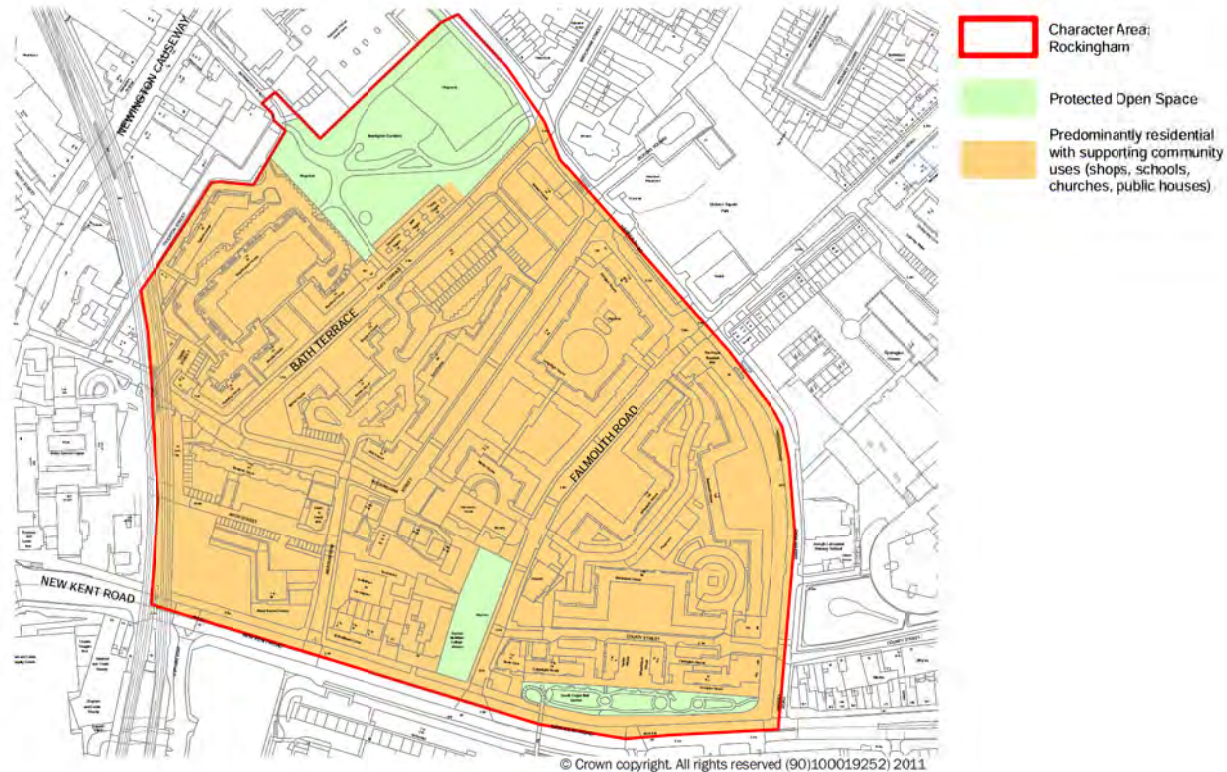


Figure 54: Land Use

Character Area 5: Rockingham

Heritage Assets

6.64 The area contains a small number of heritage assets and buildings of townscape merit (Fig. 55). This includes the grade II listed Presbyterian Chapel a yellow brick building with red brick and stone detailing dating from 1888. This is a late Victorian remnant which is now surrounded by residential blocks. The tenements on Bath Terrace and 19th century buildings on New Kent Road are candidates for local listing. The tenements provide a reminder of the generally tightly-packed, low quality housing that characterised the area in the 19th Century. The distinctive estate pubs that are a planned part of the LCC housing are considered buildings of townscape merit, introducing interesting corner buildings to the large-scale blocks.

6.65 A number of grade II listed buildings are located to the north and eastern side of the character area (Henry Wood Hall, Trinity Church Square, Joseph Lancaster Primary School and the Geoffrey Chaucer School) these form part of the setting of the character area (Fig. 55).

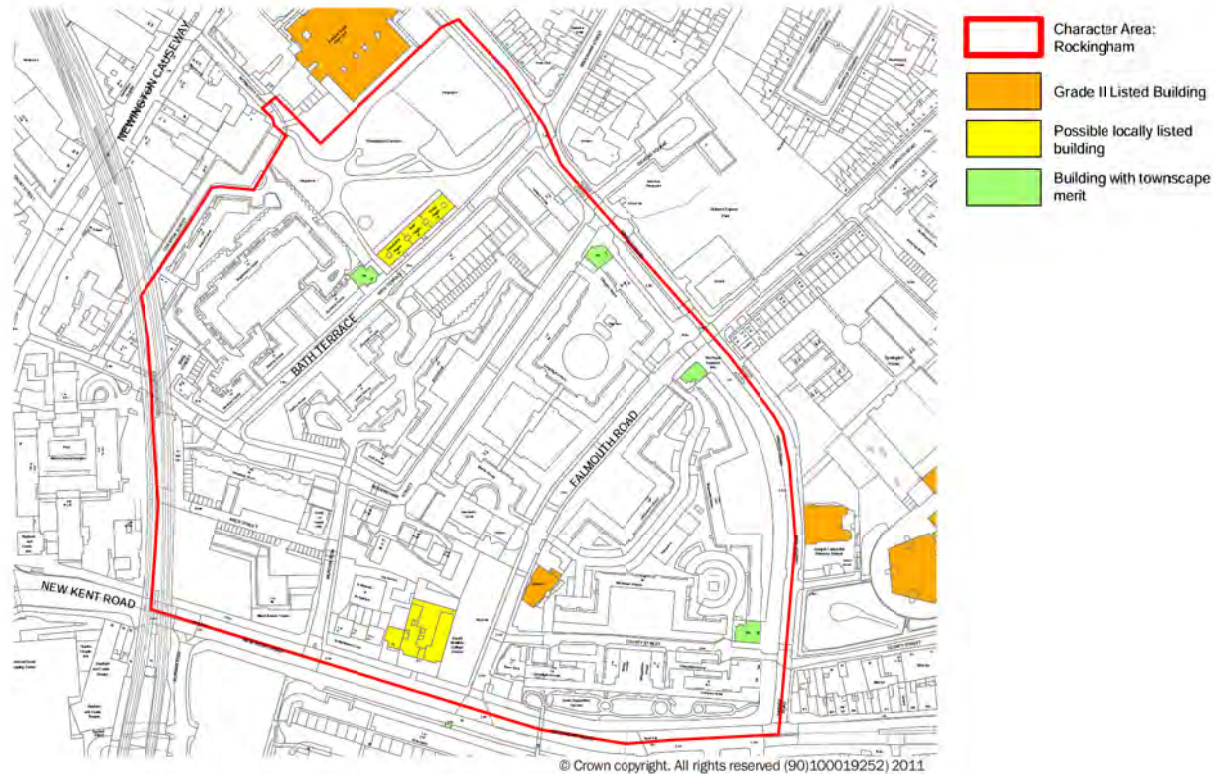


Figure 55: Heritage Assets

Character Area 5: Rockingham

Opportunity Sites

6.66 The area contains one small opportunity site on the junction of Rockingham Street and Meadow Row (Fig. 56).

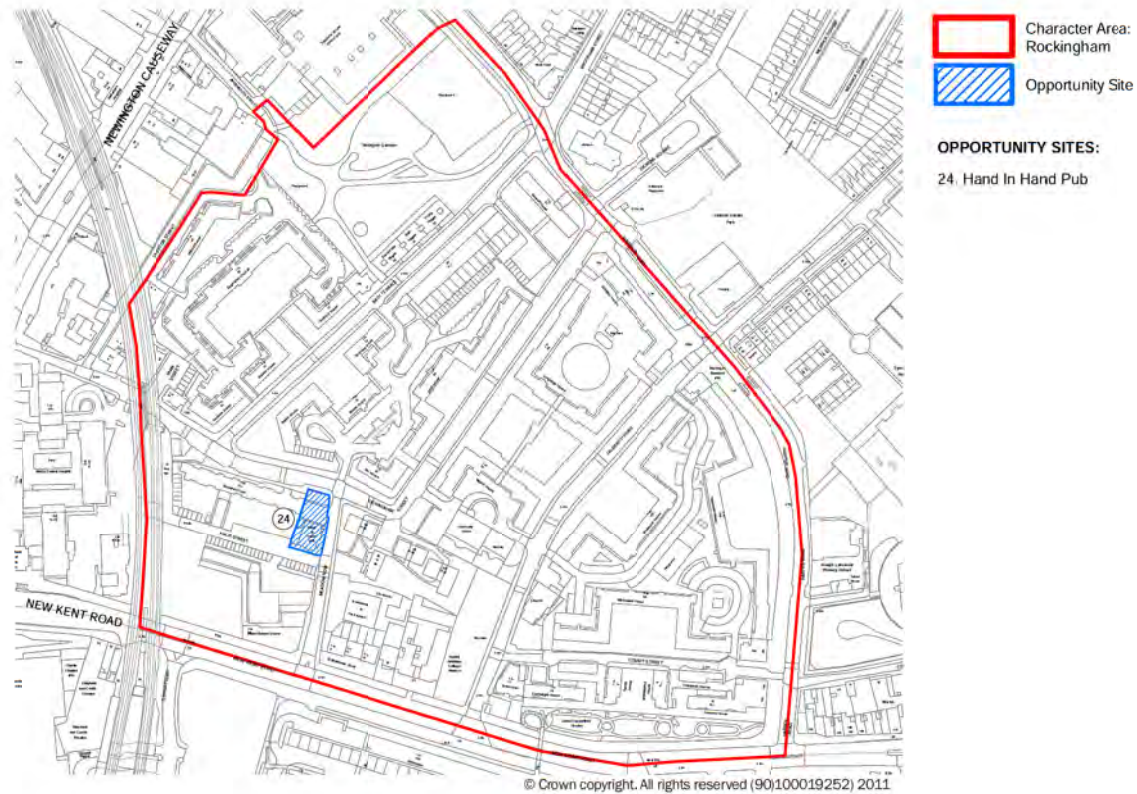


Figure 56: Opportunity Sites

Character Area 6: Brandon Street

6.67 **Summary:** This predominantly residential area comprises a variety of housing including large 20th Century estate developments, ranging from the early Peabody Buildings on Content Street to the later LCC development such as those at Orb Street and Brandon Street and

the well-preserved Victorian housing of the potential Larcom Street Conservation Area. The more open planned post-war development has resulted in an erosion of the spatial structure within the character area.



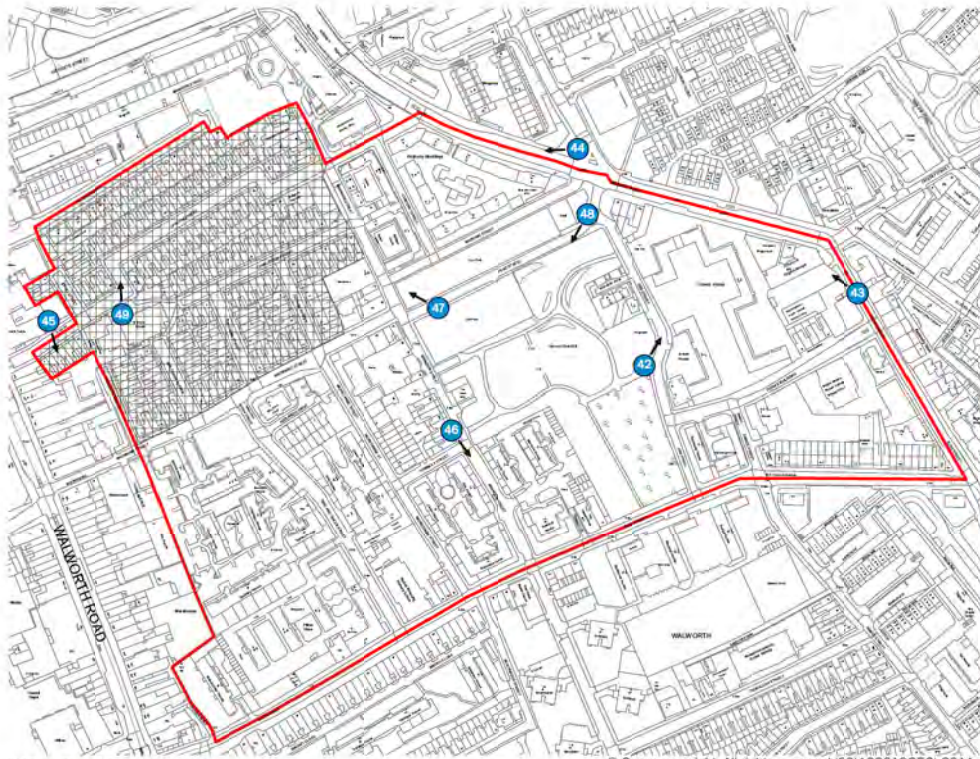
Figure 57 - Aerial Photo



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Figure 58 - Figure Ground

Character Area 6: Brandon Street



Photograph Location Plan 6

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Photo 42: Daves House, Orb Street



Photo 43: Church of the English Martyrs, Flint Street



Photo 44: Peabody Buildings, Rodney Road



Photo 45: Nos. 8 and 10 Larcom Street



Photo 46: Harrison House, Brandon Street



Photo 47: Brandon Street across Stead Street car park



Photo 48: Nursery Row Park



Photo 49: Larcom Street

Character Area 6: Brandon Street

Historic Development

6.68 The Brandon Street character area is located to the east of Walworth Road and extends to the southern edge of the Opportunity Area. In terms of historical development, in the 18th century this was an area of open fields marked "Lock Field" (Fig. 59). By the 1830s, a street pattern had been established developing from the Walworth Road. In the latter part of the nineteenth century the area was almost entirely urbanised with mainly terraced housing but also some tenements. Much of this housing was cleared during the twentieth century and replaced with larger housing trust or LCC blocks of flats for example the Rodney Estate, the Peabody Buildings at Content Street and the Peabody Trust Pilton Place Estate. Late 20th Century and early 21st Century development was limited to the clearance and redevelopment of a few isolated sites (e.g. Asolando Drive and northern end of Morecambe Street). However the pattern of streets around Larcom Street has survived as a largely intact area of Victorian terraced street housing of good quality. Some late Victorian/Edwardian buildings (terraced housing and English Martyr's Primary School and Church) remain at the eastern edge of the character area (Flint Street/East Street).



Figure 59: Historic Mapping:
1 1766, 2 1830, 3 1896, 4 1977

Character Area 6: Brandon Street

Urban Design and Movement

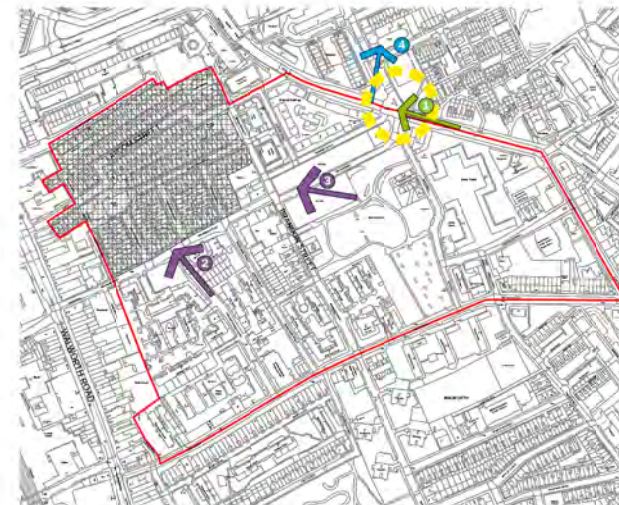
- 6.69 The urban design and movement through the area is characterised by the contrast between the Victorian housing of the Larcom Street area where a strong spatial structure is maintained which provides clear legibility and permeability and the more open planning of post-war development (Fig. 58). While a network of main routes has been retained from Victorian planning, the 20th Century estates largely fill street blocks, erasing the smaller connecting streets. The estate layouts do not provide definition to the street edges thereby resulting in a loss of legibility and permeability through these areas. At its northern end Brandon Street was truncated by the Heygate Estate, reintroducing a route through in future redevelopment proposals would assist with access between the two character areas.
- 6.70 Of significance when reviewing the spatial structure is the undeveloped space of Nursery Row Park and the car parks to the north. Together these create a significant gap in the townscape. What would have originally been an important node at the Balfour Street, Rodney Road, Flint Street, Orb Street junction has now been eroded (Fig. 60). The 1896 map shows a public house on the corner of Balfour Street/ Rodney Road (now Wingrave) which would have served as an important townscape building marking this junction. Currently low-rise buildings and left-over space has undermined the importance of this node, resulting in a less 'readable' area of townscape. There is a view towards the grade II listed Lady Margaret Church (outside the Opportunity Area) from this node. The Rose and Crown PH, attached to the Peabody Buildings remains an important corner building at this junction.

Views

- 6.71 There are views to the historic Peabody Buildings (recommended for local listing) at Rodney Street looking into the character area from the east (see view 1, Fig.60). There is a view out of the Opportunity Area to Lady Margaret Church (Grade II listed) (view 4). There are also orientation views along King and Queen Street (view 2) and across the car parks to the Strata Tower (view 3).







Built Form

- 6.72 The built form of the area is characterised by the contrast between large 20th century estate developments, ranging from the early Peabody Buildings to the south west of Rodney Road (four/five storeys) to later LCC developments such as those at Orb Street and Brandon Street (both five storeys), and the earlier Victorian housing Larcom Street (Fig. 61). Larcom Street comprises consistent terraced housing dating from 1870-1914. They are yellow brick, generally with rendered bay window and door surrounds at ground level. Newbolt House, a late 20th Century block on the corner of Brandon Street and East Street, is the tallest building in the area at six storeys. There is some unity in materials, with yellow stock or red brick and tiled or slated roofs predominating. The earlier housing (Peabody Buildings at Content Street and Pilton Place) is set up in traditional street block style with central semi-private courtyards while the later schemes are set back from streets and set in landscaped grounds. The grain of the Larcom area is consistently fine (Fig 58). The buildings provide a good sense of enclosure to generally narrow streets, small front gardens are enclosed by consistent (albeit replacement) railings. Elsewhere the grain has generally been lost with the 20th Century development, where buildings of larger footprints are located in spacious grounds. Some remnants of a finer grain are still evident between Browning Street and Townley Street and to the very east of the character area.



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Figure 60: Townscape Analysis

- Brandon Street Character Area 
- Potential Conservation Area 
- Nodes 
- Orientation views and vistas 
- Views and vistas to historic buildings / structures or conservation areas 
- Views and vistas to surrounding landmarks 



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Figure 61: Building Heights

Character Area 6: Brandon Street

Land Use

6.73 The land use in the area is mainly residential, with schools, churches and pubs (Fig. 62). Some light industrial units remain in the vicinity of the Browning Street/Brandon Street junction. A number of the estates (Rodney Place, Brandon Street, Manchester House and King and Queen Street) are either in local authority or housing association ownership. Notably the Peabody Buildings and Picton Place Estate are in private ownership.

Landscape and Open Space

6.74 The central part of the area is dominated by Nursery Row Park, a landscaped open space (now protected by Council policy) which was created following the clearance of terraced housing in the post war period (Fig. 62). The park makes a connection south to East Street. The park has been subject to recent investment in landscaping and sculptural features. Some of the park edges remain weak in terms of the way buildings address the open space, perhaps as a consequence of the way it was created from cleared housing. A small park, a former churchyard with mature trees, is located on the junction of Browning Street/Morecambe Street (see audit for details of Tree Preservation Orders). The mature trees contribute to the quality of the townscape. Playgrounds are also scattered throughout the area.

6.75 Mature street trees are a feature along Rodney Road and Wansey Street, serving to provide enclosure and soften the townscape in these locations. Trees with the housing estates are a significant landscape characteristic of the area.

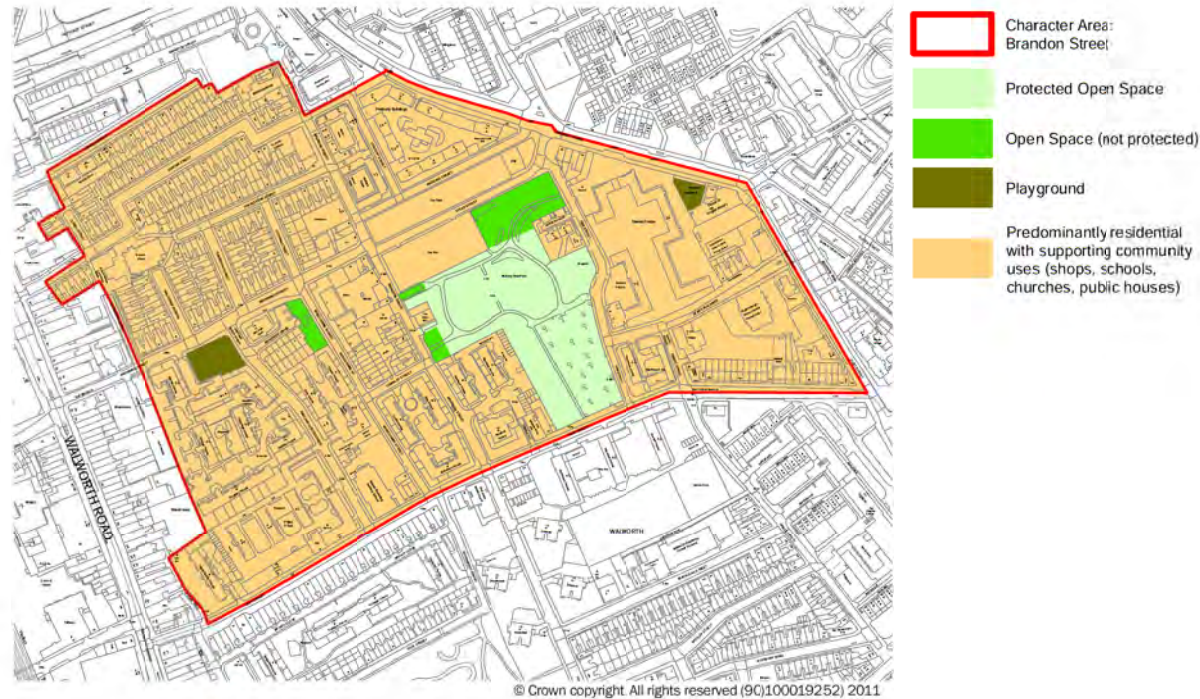


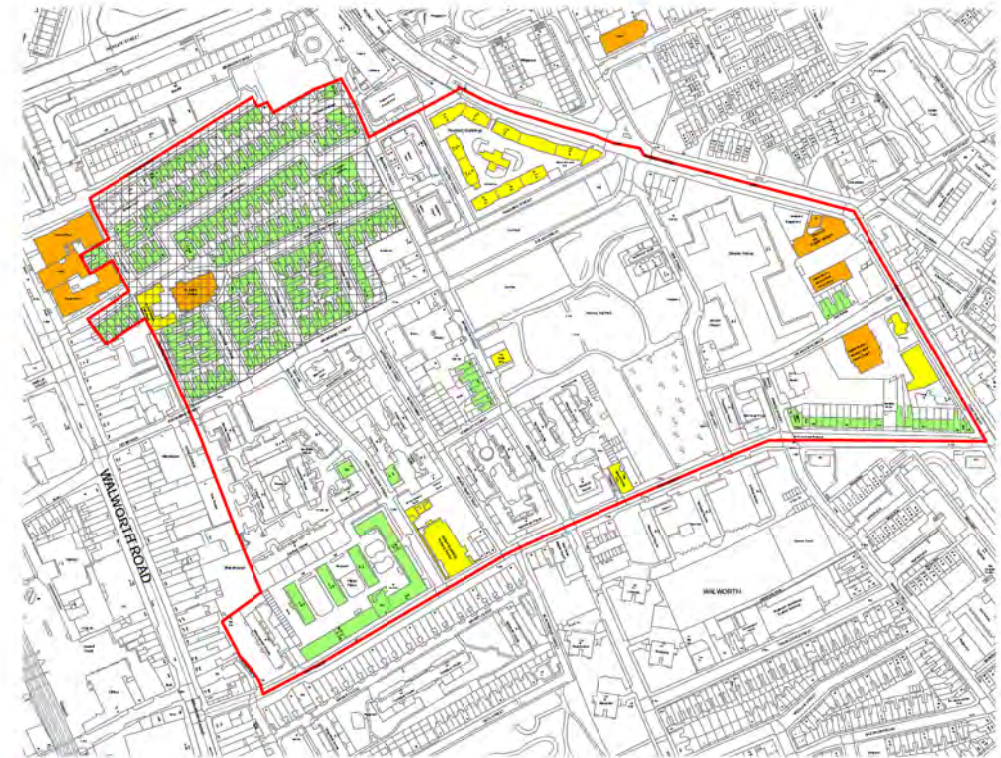
Figure 62: Land Use

Character Area 6: Brandon Street

Heritage Assets

- 6.76 The area contains several designated heritage assets as well as buildings with potential for local listing and townscape merit status (Fig. 63). The Larcom Street area is identified as a potential conservation area. Its significance is based on the tight-knit pattern of development that was squeezed between pre-existing development including the grade II listed St John's Church from 1859-60. The potential conservation area is a well-defined piece of landscape. Its northern edge, fronting Wansey Street, abuts the existing Heygate Estate. The redevelopment of the latter must respect the setting of the Larcom Street townscape. To its east and south, generally late 20th Century development (with the exception of the earlier light industrial units) and the pocket park on Browning Street weakens the street structure and creates a poor setting to the potential conservation area. The grade II listed Library/Civic Centre/Health Centre fronting Walworth Road forms part of its setting at its western edge.
- 6.77 To the east of the character area the English Martyr's Church, School and Presbytery, dating from the turn of the 20th Century, form a grouping of grade II listed buildings. The Church particularly has a prominent junction location which provides interest and assists with orientation in this area. The surrounding Nursery buildings (potential for local listing) and Victorian terraces which are considered to be buildings of townscape merit, contribute to the higher quality townscape in this location.

- 6.78 The Peabody Buildings are a well executed example of turn of the century public housing with richly articulated facades and roofscape and is a strong feature in the townscape. As such the estate is considered suitable for local listing. The Robert Browning Primary School and associated school keepers house, The Masons Arms pub and The Crown pub are also worthy of local listing and contribute to the Brandon Street and East Street townscape.
- 6.79 The majority of the buildings within the Larcom Street are buildings with townscape merit, with the exception of St. John's Walworth C of E primary school which, given its group value with the Church, should be a candidate for local listing. Other buildings of townscape merit are the Peabody Trust's Picton Place buildings, the estate public houses (King and Queen Street) and the Victorian terraces on East Street, Dean's Buildings and Brandon Street.



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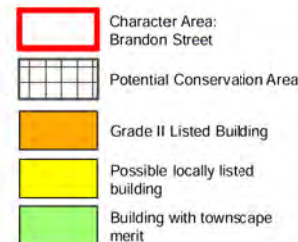
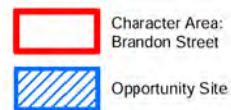
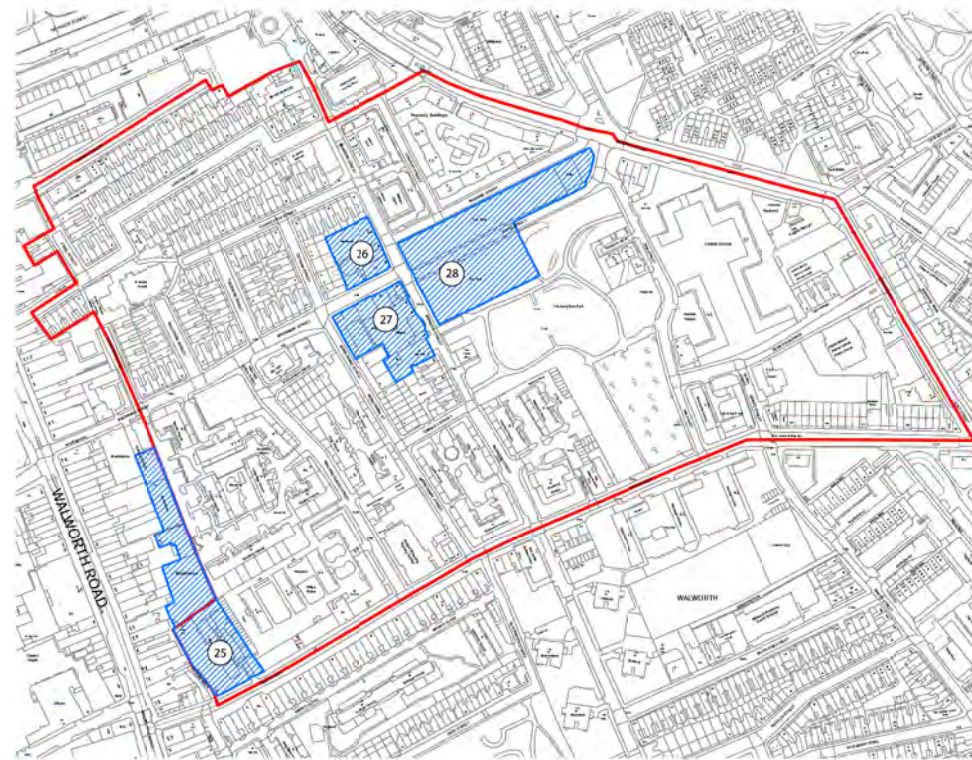


Figure 63: Heritage Assets

Character Area 6: Brandon Street

Opportunity Sites

6.80 There are opportunities for development fronting Browning Street and Brandon Street and potentially the redevelopment of Manchester House (Fig. 64).



OPPORTUNITY SITES

- 25. Manchester House
- 26. Warehouse and Surrounds (78-82 Brandon Street)
- 27. Works and Surrounds (90-92 Brandon Street)
- 28. Car Parks on Wadding Street/Stead Street

Figure 64: Opportunity Sites

Character Area 7: Walworth Road

6.81 **Summary:** The Walworth Road is a linear character area, following an early arterial route into London. Development fronting Walworth Road is predominantly between two and four storeys comprising 18th and 19th Century houses with retail extensions at ground floor, later Victorian and Edwardian shopping parades and some post-war infill developments.

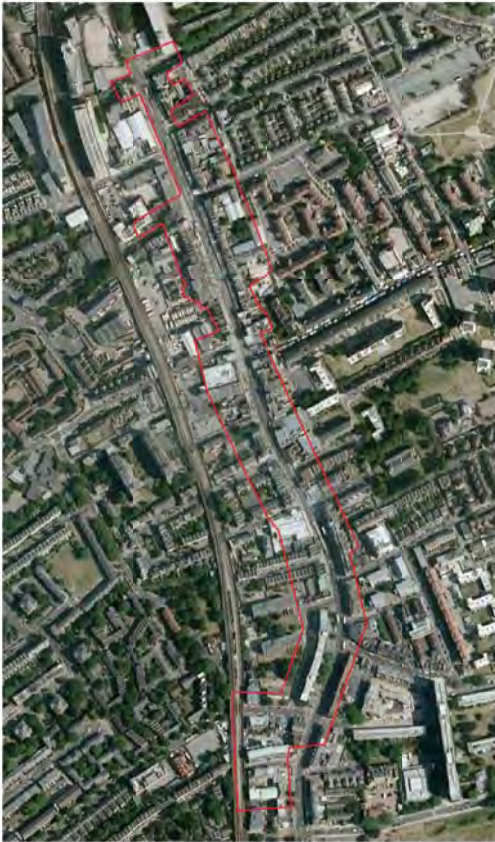


Figure 65 - Aerial Photo

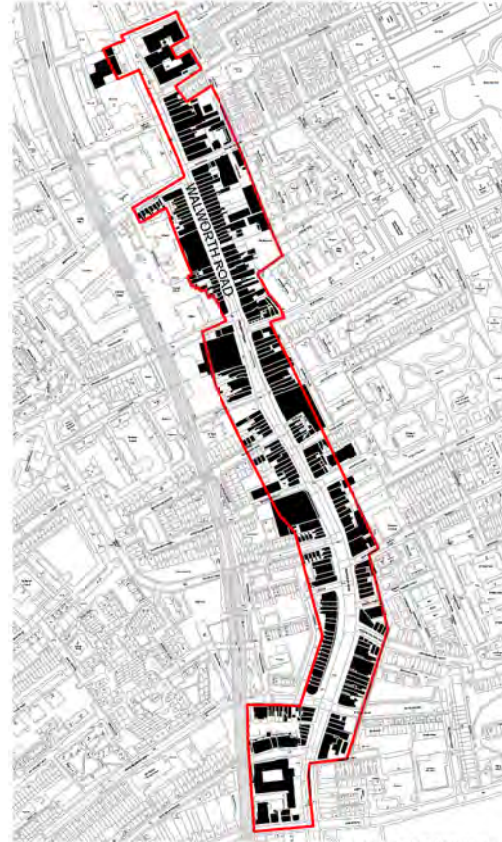
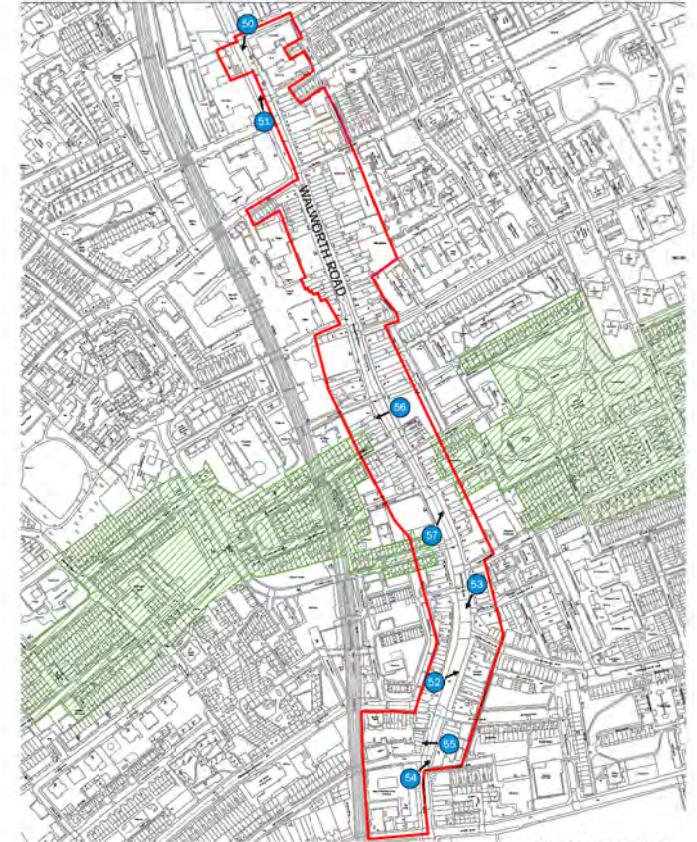


Figure 66 - Figure Ground



Photograph Location Plan 7

Character Area 7: Walworth Road



Photo 50: Nos. 140-152 Walworth Road (grade II listed)



Photo 51: Civic complex (grade II listed), Walworth Road



Photo 52: Camgate Mansions, Walworth Road



Photo 53: Gateway, Walworth Road



Photo 54: Nos. 49-67 Walworth Road



Photo 55: Nos. 36-44 Walworth Road



Photo 56: Nos. 294-298 Walworth Road



Photo 57: Nos. 353-357 Walworth Road

Character Area 7: Walworth Road

Historic Development

6.52 The Walworth Road developed as an arterial commuter route into London during the late 18th and 19th centuries, linking what were originally small villages (e.g. Walworth and Camberwell) beyond the historic core of London. During this period the edges of Walworth Road became fully developed (Fig. 67). Some of this early phase of historical development survives today (for example the grade II listed Georgian houses at the north of Walworth Road designed by Francis Hurlbatt and dating from 1793-1799) but other areas of the street frontages were subject to further phases of development in the early part of the 20th century (for example Camgate Mansions) while there has been some selective infilling, usually associated with retail developments such as the Morrison's and Fitness First (264-276 and 330-344 respectively).



Figure 67: Historic Mapping:
1 1766, 2 1830, 3 1896, 4 1977

Character Area 7: Walworth Road

Urban Design and Movement

6.83 In terms of urban design and movement, the character of the area is one of a transport artery, dominated by cars, buses and commercial traffic (Fig. 68). It is also a key pedestrian route with high levels of footfall associated with the retail offer and provides a connection into the quieter side streets of the surrounding residential areas.

Views

6.84 Orientation views north from the Walworth Road predominate with the new 43 storey Strata tower and the Shard at London Bridge strongly in evidence (see views 1 and 2, Fig. 68). There are good historic views east and west along side streets with a notable vista to the grade I listed St Peter's Church along Liverpool Grove (view 3) and views west, along Fielding Street, to the Sutherland Conservation Area (view 4). A long view to St Paul's Cathedral is obtained from a short section of Camberwell Road (approx. 0.8km beyond the Opportunity Area) north across the character area (see Audit).

Built Form

6.85 The built form of the Walworth Road is varied, according to architectural period and prevailing styles, but there are several unifying elements. Buildings either sit at the back edge of the pavement or, at the northern end, comprise single storey extensions over the former gardens of the 18th and 19th century houses set, typically, some 7-10 metres back from the highway (Fig. 66). The second unifying element is height (Fig. 69). Most buildings along Walworth Road are between two and four storeys high, some with roof storeys. The materials are generally consistent, with brick and some render. While the quality of shopfront detailing is generally poor, with over dominant fascia signs, some of the original architectural detailing on upper floors remains, albeit with much alteration and often poorly maintained. There are some post-war infill developments, with notable examples at 330-334 (Fitness First - with its distinctive drum on the junction of Walworth Road) and the shopping parade between Gateway and John Ruskin Street fronting Walworth Road.

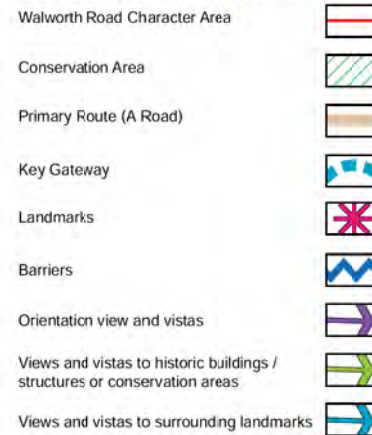
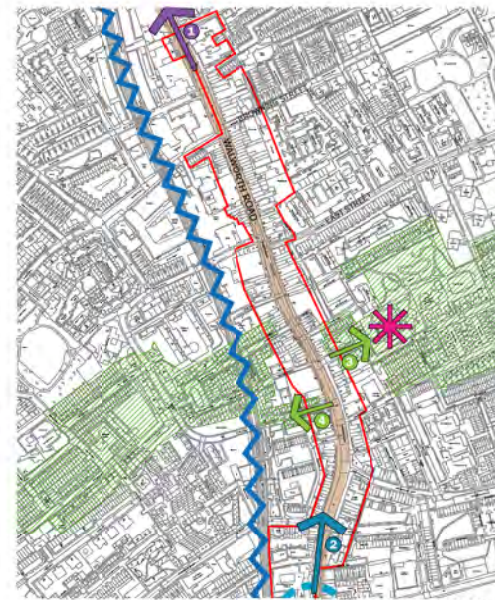


Figure 68: Townscape Analysis

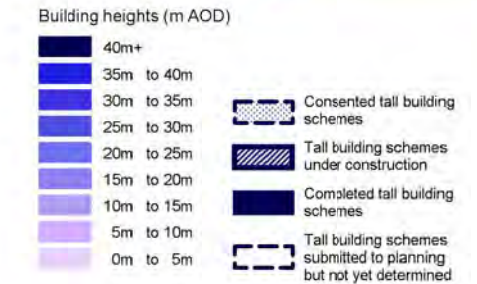
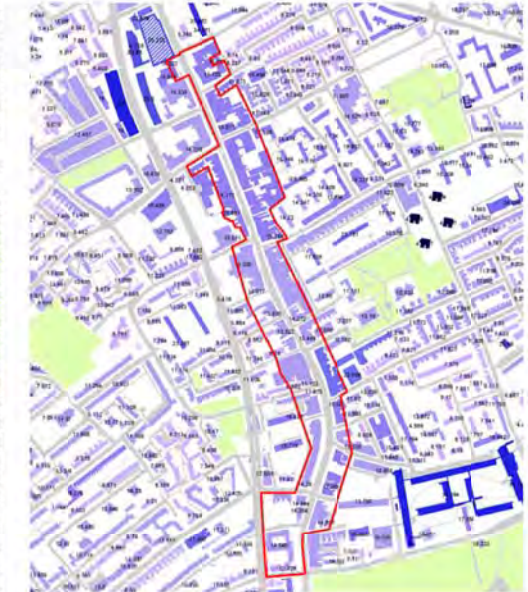


Figure 69: Building Heights

Character Area 7: Walworth Road

Land Use

6.86 Land use along the Walworth Road is predominantly retail with mainly small scale shops and hot food takeaways but also larger variety stores (Marks and Spencer), multiples (Boots) and supermarkets (Tesco, Iceland) (Fig. 70). No detailed survey of upper floor use has been undertaken but from observation these appear to be a range of residential or commercial uses or ancillary to retail uses below.

Landscape and Open Space

6.87 By its nature, the Walworth Road is devoid of any landscaped open space although young street trees provide some softening of the environment. The space which has historically fronted the Old Station House (Fig. 70 and see historic photo on p107) is now boarded up. Opportunities to provide some relief from the busy urban character of the street (e.g. pocket park, opening up of the Old Station House setting with high quality boundary treatment) should be explored.

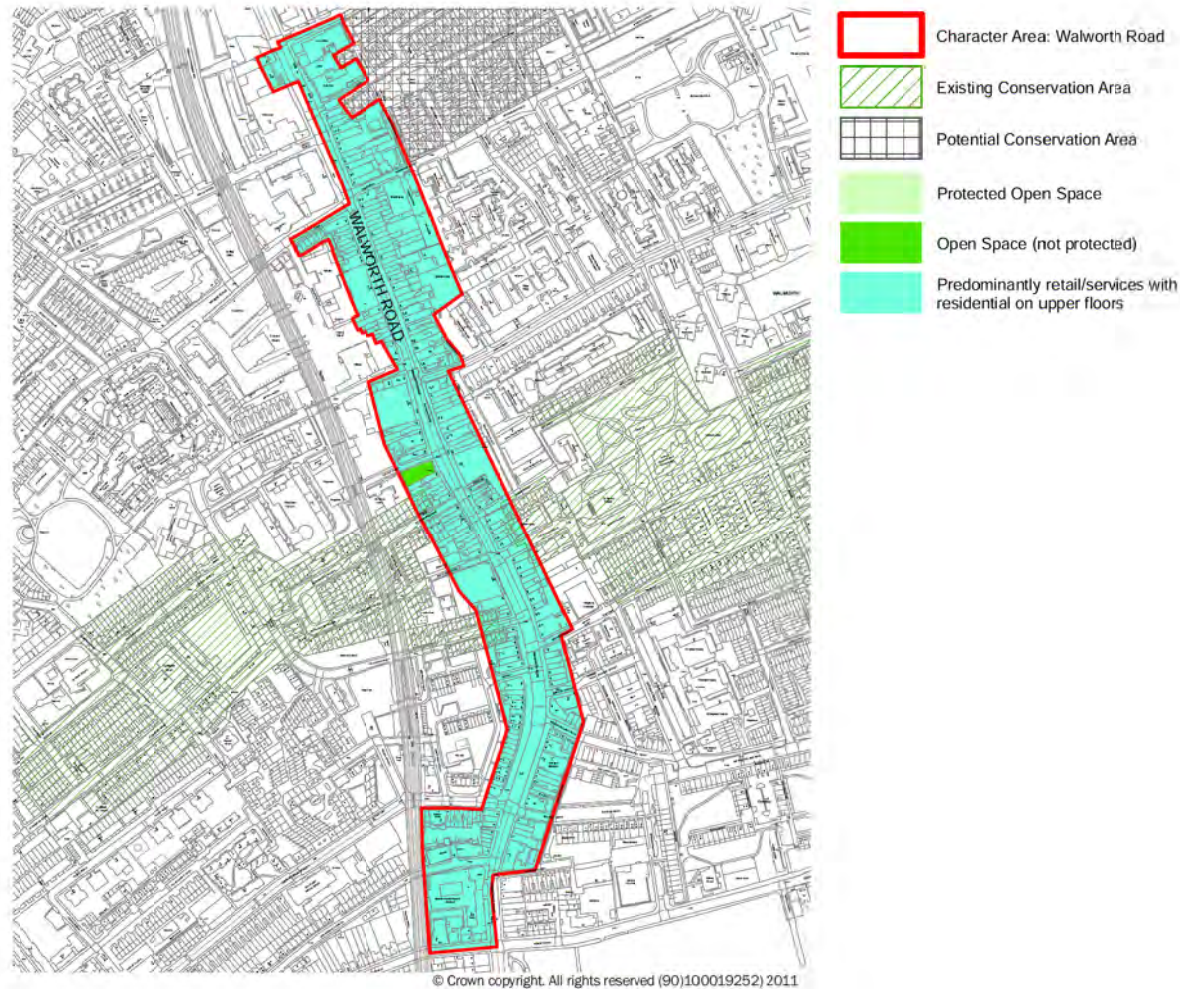


Figure 70: Land Use

Character Area 7: Walworth Road

Heritage Assets

- 6.88 The character area contains a full range of heritage assets and a number of buildings have been identified as candidates for local listing or buildings of townscape merit (Fig. 71). This reflects the fact that much survives from the late 18th, 19th and early 20th centuries with Georgian, Victorian and Edwardian architecture of good quality, albeit often poorly maintained and with significant detracting elements at shopfront level. The cluster of municipal buildings (the town hall, library and health centre) is a civic complex of very high quality and listed grade II. The linear and consistent form of development generally provides a positive setting for adjacent buildings, although some of the late 20th Century frontages are detracting elements within the settings and could benefit from redevelopment. At the northern end of the character area the settings of the grade II listed John Smith Building and the municipal complex are compromised by adjacent gap sites (John Smith House) and Heygate Estate/garage (municipal complex). Redevelopment proposals will need to enhance the settings of these buildings (see Character Area Management Section 7.0).
- 6.89 At the southern end of the Opportunity Area, and outside the boundary, 66-84 Walworth Road are grade II listed and form part of the setting of the character area (Fig. 71).

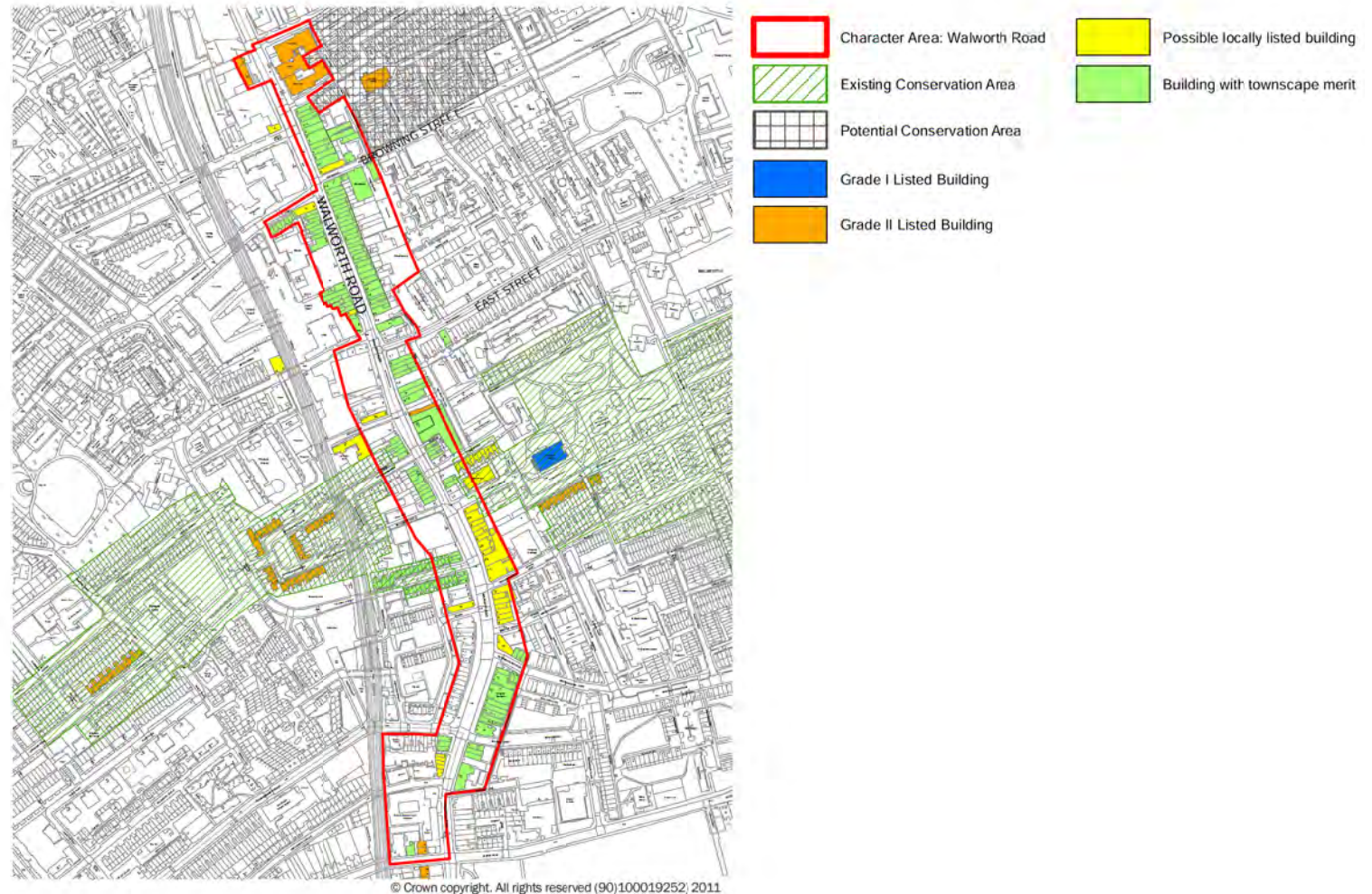
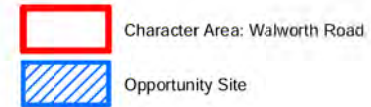
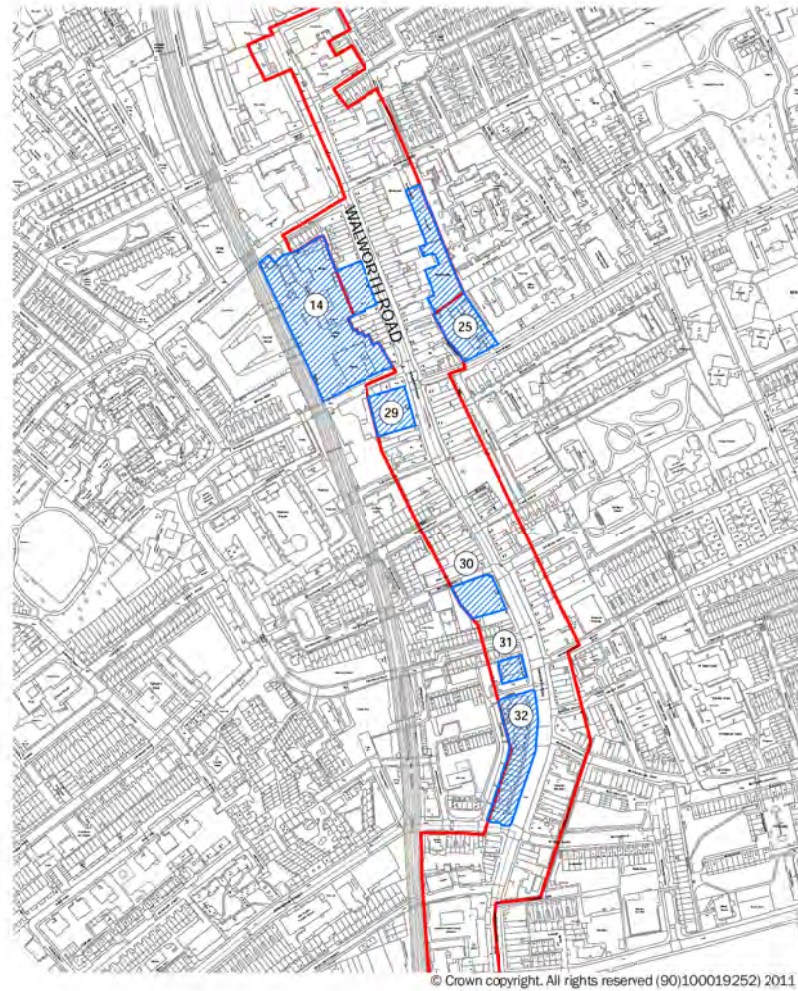


Figure 71: Heritage Assets

Character Area 7: Walworth Road

Opportunity Sites

6.90 Opportunity sites have been identified on the west side of the Walworth Road (Fig. 72). These are sites of low architectural quality where redevelopment could be welcomed. An opportunity also arises to the rear of buildings fronting Walworth Road from Browning Street.



OPPORTUNITY SITES:

- 29. 264-276 (evens) Walworth Road (Somerfield)
- 30. 330-334 (evens) Walworth Road (Fitness First)
- 31. 362-368 (evens) Walworth Road
- 32. Gateway

Part of the following opportunity sites fall within the character area:

- 14. Occupation Road
- 25. Manchester House

Figure 72: Opportunity Sites

Character Area 8: Pullens

6.91 **Summary:** A predominantly residential area, with the occasional community and commercial use. The late 20th Century Newington Estate within the centre, eradicates the earlier street pattern that is still evident to its north and south and compromises legibility and permeability. The buildings within the Pullens

Conservation Area provide consistency in terms of height, materials, alignment and detailing. In contrast the Newington Estate and other later development are varied lacking consistency in building type, form and alignment.



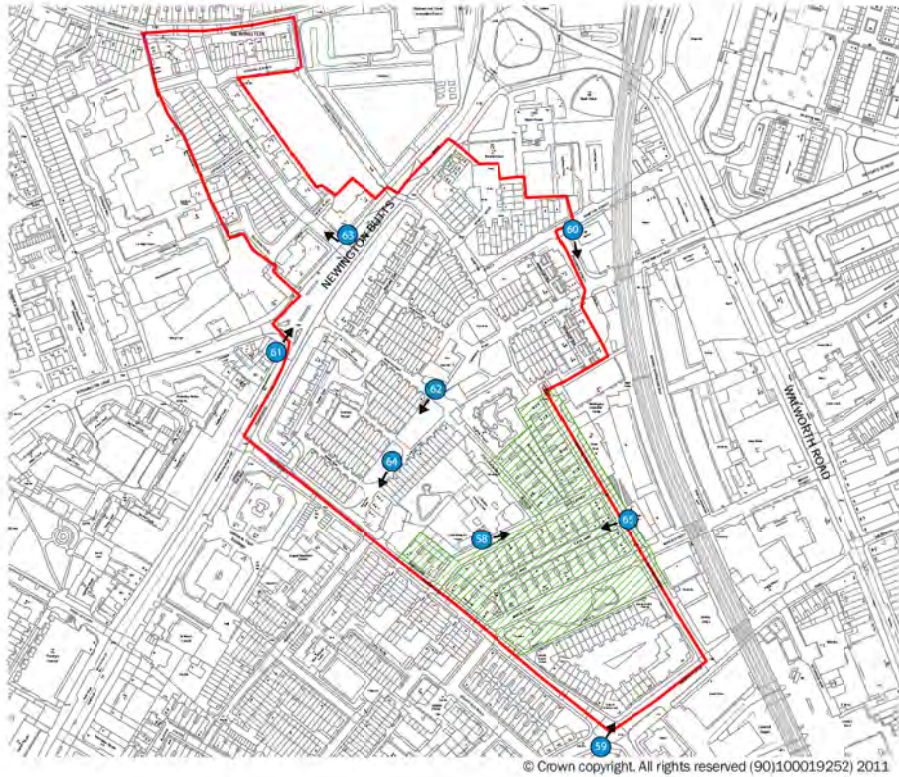
Figure 73 - Aerial Photo



Figure 74 - Figure Ground

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Character Area 8: Pullens



Photograph Location Plan 8



Photo 58: Ilife Street



Photo 59: Duke of Clarence Court, Manor Place



Photo 60: Steedman street



Photo 51: Newington Butts

Character Area 8: Pullens



Photo 62: Canterbury Place, Newington Estate



Photo 63: Dante Place



Photo 64: Canterbury Place, Newington Estate



Photo 65: Ilffe Yard

Character Area 8: Pullens

Historic Development

6.92 The Pullens Character Area is to the west of Walworth Road and south-west of the Central Area. In the 1830s it contained limited development fronting main streets but since then its historical development was rapid, notably towards the middle and end of the 19th century (Fig. 75). The area's name derives from James Pullen, a speculative developer who bought up land and built tenements and industrial buildings in the 1890s (replacing earlier terraces). During the 20th century much of the original street pattern was lost through estate development including the Newington Estate. During the 1980s the southern sections of the Pullens tenement blocks south of Amelia Street were replaced. The cleared sites (as a result of bomb damage) surrounding Dante Road were also redeveloped at the end of the 20th Century. The remnants of the Pullen era of development, centred on Iliffe and Amelia Streets, has been designated as a Conservation Area.

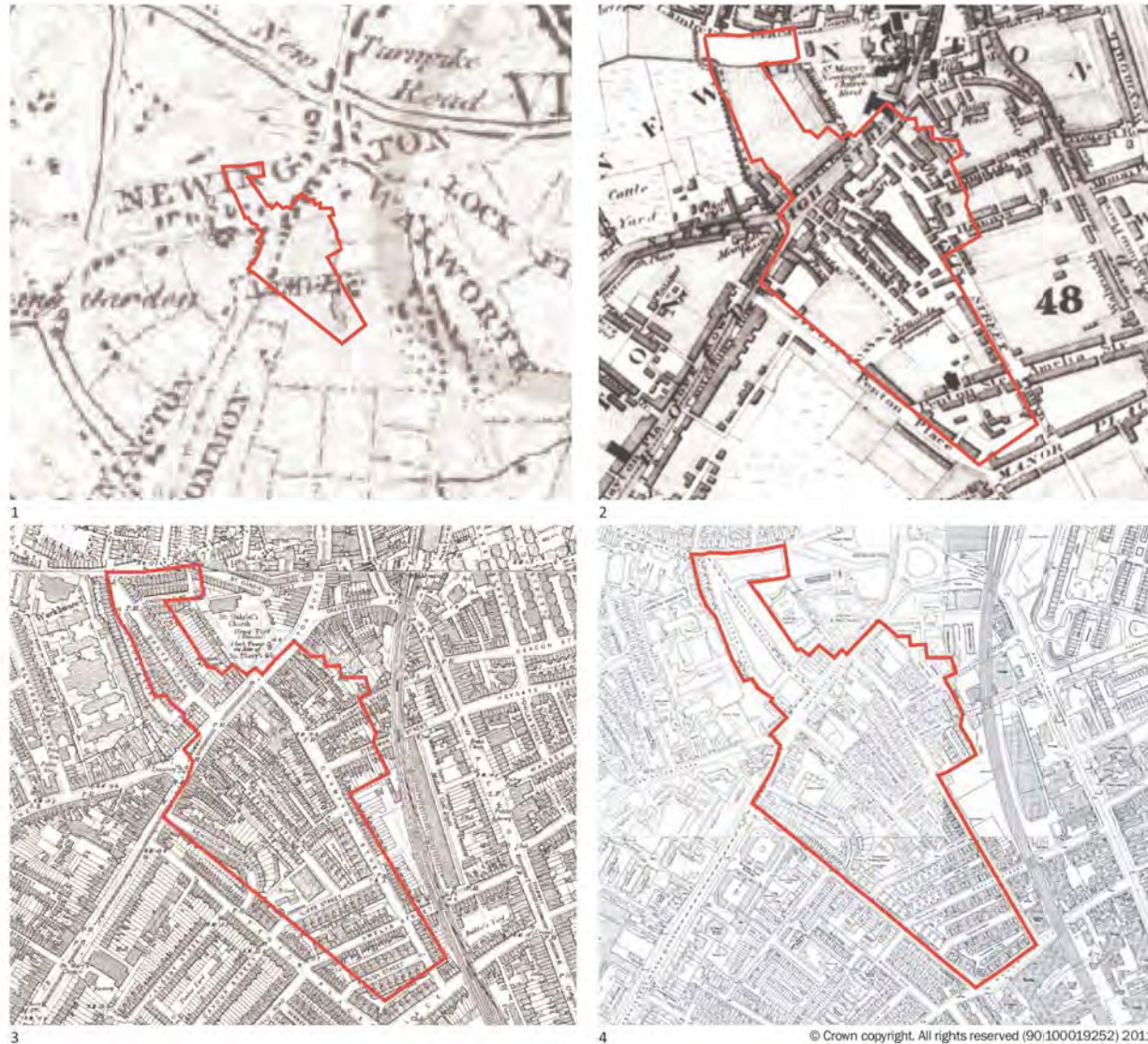


Figure 75: Historic Mapping:
1 1766, 2 1830, 3 1896, 4 1977

Character Area 8: Pullens

Urban Design and Movement

6.93 As a result of the loss of the historic street pattern, and the consequent loss of legibility and permeability, the urban design of the area is poor in places. There are no obvious key pedestrian routes through the area. The main arterial route running through the area, Newington Butts, constitutes a significant physical and psychological barrier to movement north/south (Fig. 76). Campton Street which would have originally been a key north/south routes has been truncated by the Newington Estate.

Views

6.94 Gateway views are available into/out of the Opportunity Area along Kennington Park Road (see view 1, Fig. 76). Long orientation views along Newington Butts to the Central Area, including the Strata Tower are a feature (view 2). A view is available southwards along Crampton Street to the listed former Manor Place public baths (view 5). There are orientation views to the Central Area buildings (views 4 and 6) and a view along Dante Road to the London Eye (view 3).

Built Form

6.95 The built form of the area is varied. Within the conservation area, the Victorian buildings are set to the back edge of pavements forming clear street blocks (Fig. 74). The tenements are typically four storeys (Fig. 77) and predominantly yellow brick with decorative stucco around window and door heads and a three-course red brick band delineating the parapet. Ornate central entrances to communal stairs are a feature. Two-storey workshop yards between the blocks also survive. The later estate development is generally low rise (around three storeys), in modern yellow brick and with tiled pitched roofs. While some more recent examples are built around a street frontage model (for example the three storey Manor Place) others adopt the typical post-war approach of buildings set in landscape grounds with less clear definitions of fronts and backs. Small front gardens are characteristic of late 20th Century two storey terraces fronting Dante Road with four storey blocks of flats opposite. The disparate building styles are unified by the generally limited buildings heights (between two and four storeys) and the dominant use of yellow brick with some red brick detailing.

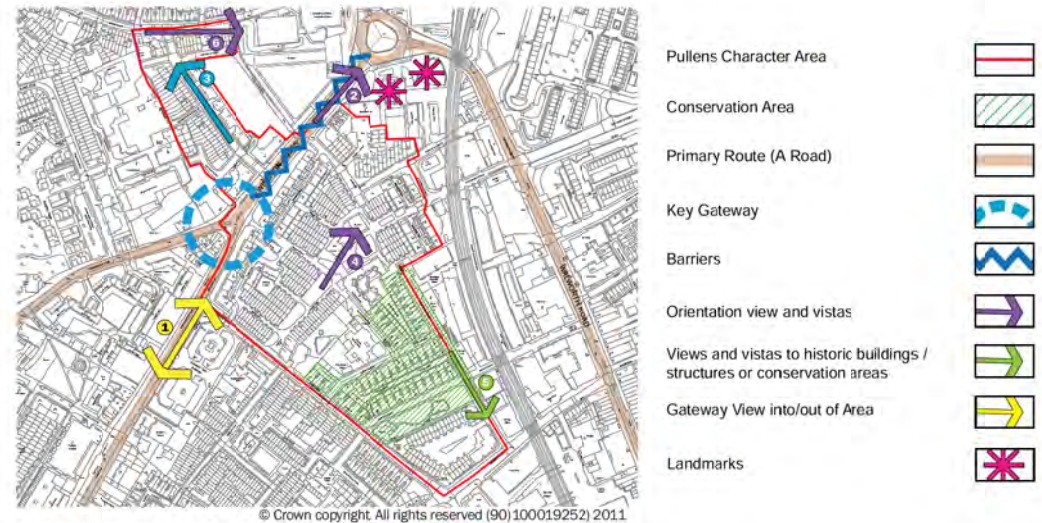


Figure 76: Townscape Analysis

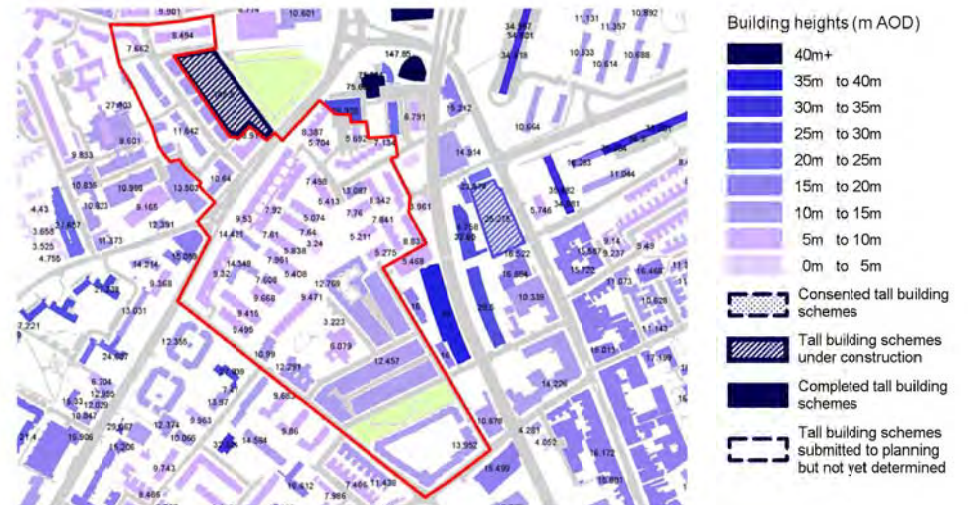


Figure 77: Building Heights

Character Area 8: Pullens

Land Use

6.96 Land use in the area is predominantly residential with some isolated retail, service and commercial uses (Fig. 78).

Landscape and Open Space

6.97 There are significant areas of landscaped open space in and around the Newington Estate (Canterbury Place) although these lack cohesion and landscape design quality (Figs. 73 and 78). The main contribution is from the mature trees. There is also a well planted park to the south of Amelia Street on the site of a demolished row of Pullen tenements. Other small pocket parks/play areas are a feature. Street trees screen the Newington Estate on Newington Butts and are also a feature of Amelia Street.

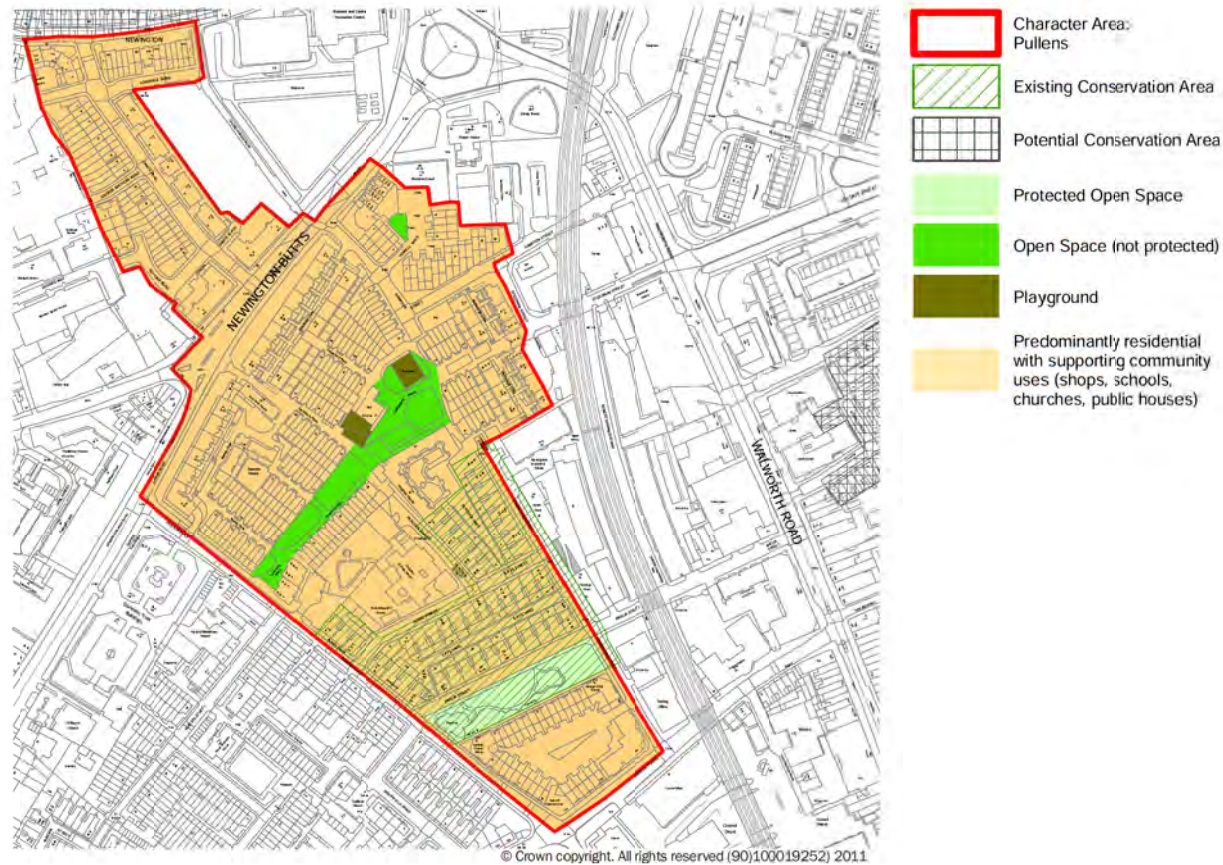


Figure 78: Land Use

Character Area 8: Pullens

Heritage Assets

6.98 Beyond the Pullens Conservation Area, where all buildings are of good townscape quality and protected from demolition, there are few buildings of heritage asset value or appreciable townscape merit (Fig. 79). The Hampton Court Public House is a focal point within the street and provides some architectural interest. It has heritage asset value and is recommended for local listing.

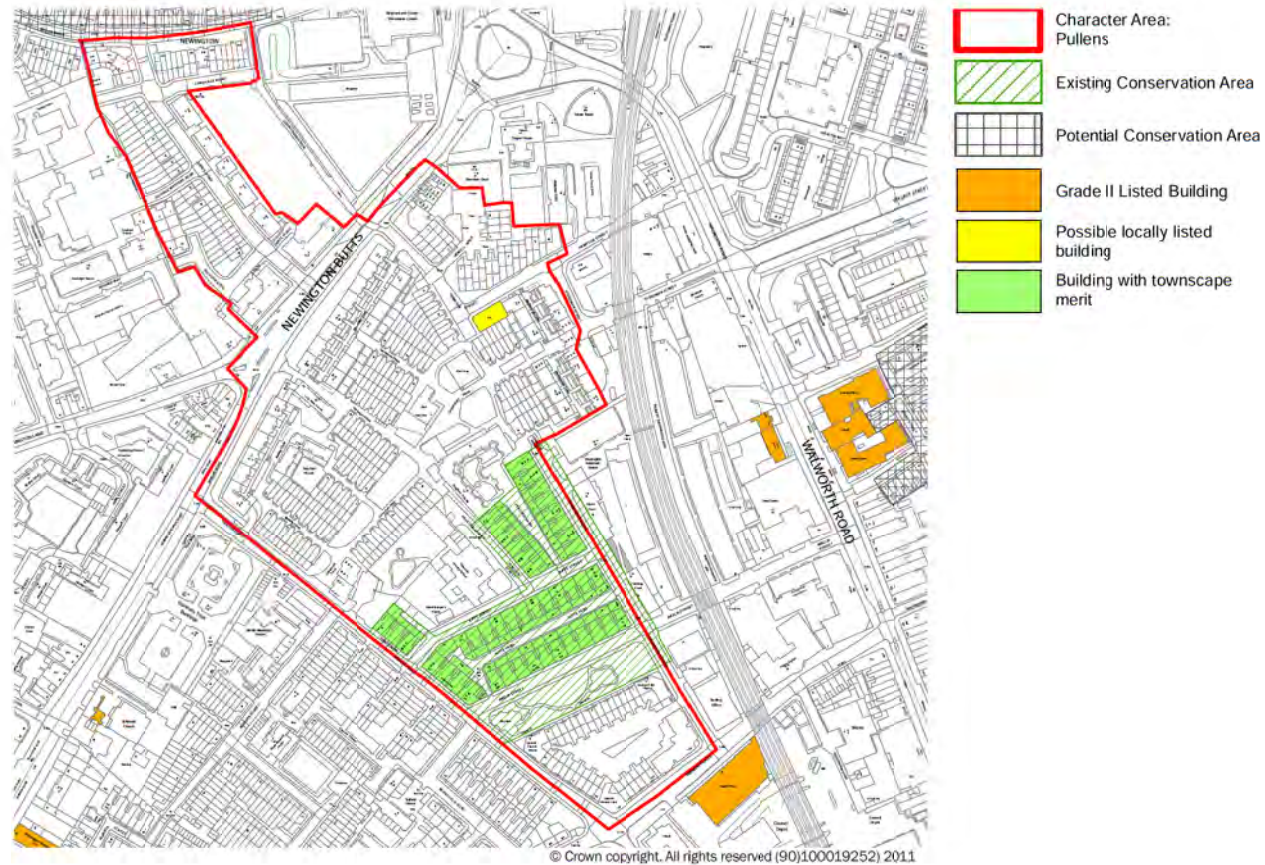


Figure 79: Heritage Assets

Character Area 8: Pullens

Opportunity Sites

6.99 The area contains no obvious opportunity sites (Fig. 80).

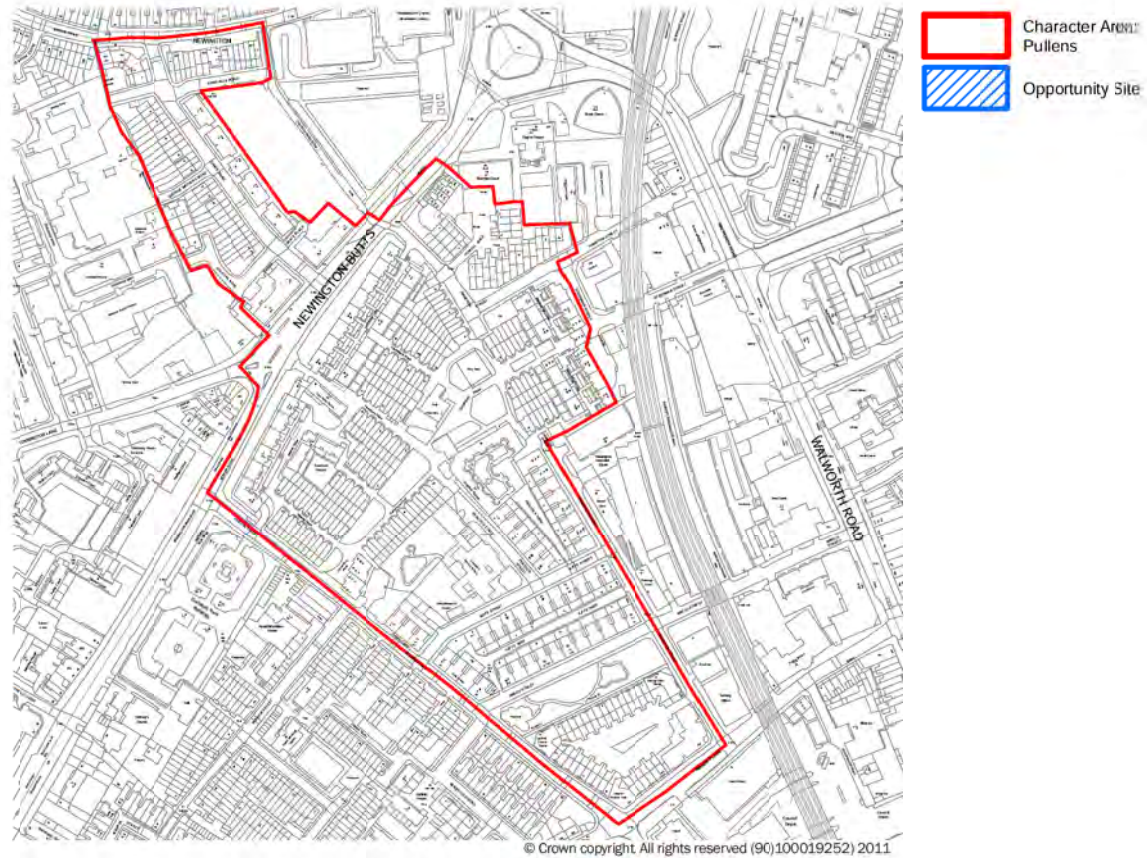


Figure 80: Opportunity Sites

Character Area 9: West Square

6.100 **Summary:** The character area is generally of high townscape quality and is covered by existing (West Square) and proposed (Elliott's Row) Conservation Area status. Nineteenth Century terraces are predominant, although the Imperial War Museum, set in its expansive gardens, is a key feature of the area. The land use mix comprises residential and community/cultural sites.



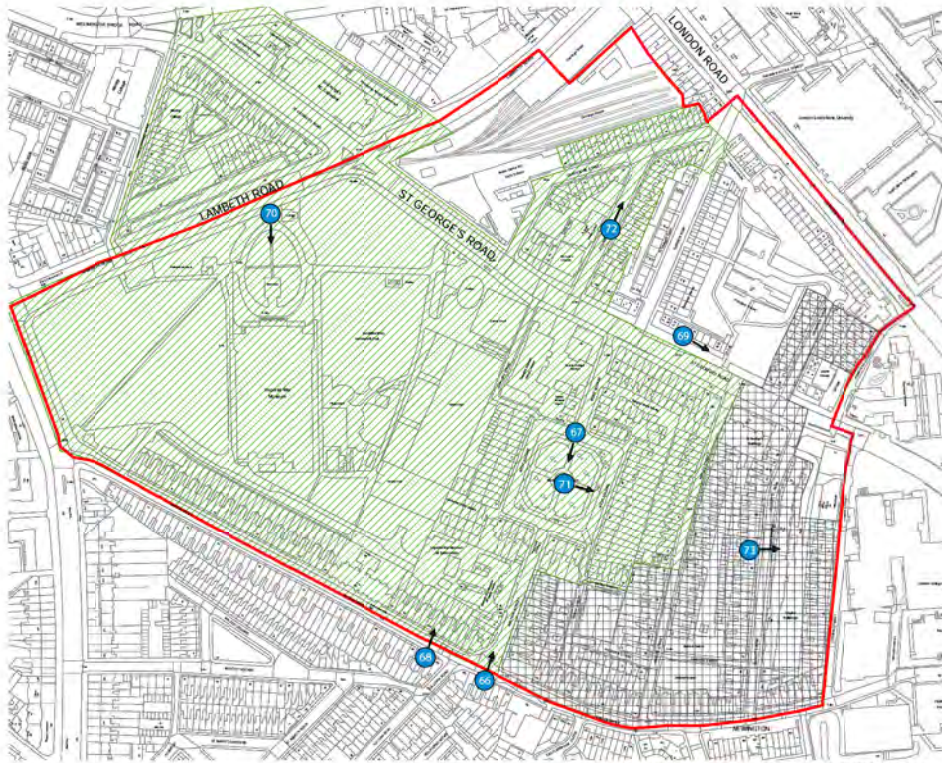
Figure 81 - Aerial Photo



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Figure 82 - Figure Ground

Character Area 9: West Square



Photograph Location Plan 9

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Photo 66: Austral Street



Photo 67: West Square



Photo 68: Ncs. 107 and 109 Brook Drive



Photo 69: St. George's Road

Character Area 9: West Square



Photo 70: The Imperial War Museum



Photo 71: West Square



Photo 72: Colnbrook Street



Photo 73: Hayles Buildings, Elliott's Row

Character Area 9: West Square

Historic Development

6.101 The West Square Character area, which derives its name from the existing conservation area largely contained within its boundary, is to the west of the Central Area. St George's Road was laid out by the time of John Rocque's 1766 map following which its historical development was fairly rapid with the key features of the conservation area in place by the beginning of the 19th century including the square and surrounding streets (Fig. 83). These were fine houses for wealthier commuters working in the commercial heart of London. The area also became a home for large institutions. The New Bethlem Hospital (now the Imperial War Museum) was built between 1811-14. Further residential and institutional development took place during the 19th century, with streets of terraced houses (eg Colnbrook Street and Gladstone Street from the 1850s), late-Victorian tenements to the north-eastern end of Elliott's Row, the Blind Asylum, an orphan house (Austral Street) schools (for example the late-Victorian Notre Dame School and its associated complex of Catholic Church buildings). Some clearance after the Second World War took place, partly as a result of bomb damage. This includes local authority housing schemes on Garden Row and on St George's Row. The 1915 Bakerloo Line carriage depot was built on the site of the former Blind Asylum and creates a substantial gap in the built-up area, albeit largely hidden by its perimeter walling. By the 1960s, an area to the north of St. George's Street (Burman Street and Marshall Street) had been cleared and by the late 1970s Prospect House is seen.



Figure 83: Historic Mapping:
1 1766, 2 1830, 3 1896, 4 1977

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Character Area 9: West Square

Urban Design and Movement

6.102 The area's pattern of movement and urban design remains well structured (Figs. 82 and 84). Most of the historic street pattern is still evident today with only limited areas at Prospect House and on the edge of the character area where this breaks down. Key pedestrian routes through the area comprise London Road, St George's Road and Lambeth Road. Secondary routes (e.g. West Square, Elliott's Row, Colnbrook Street) provide good levels of permeability. The Bakerloo Line depot is, however, a major barrier to movement.

Views

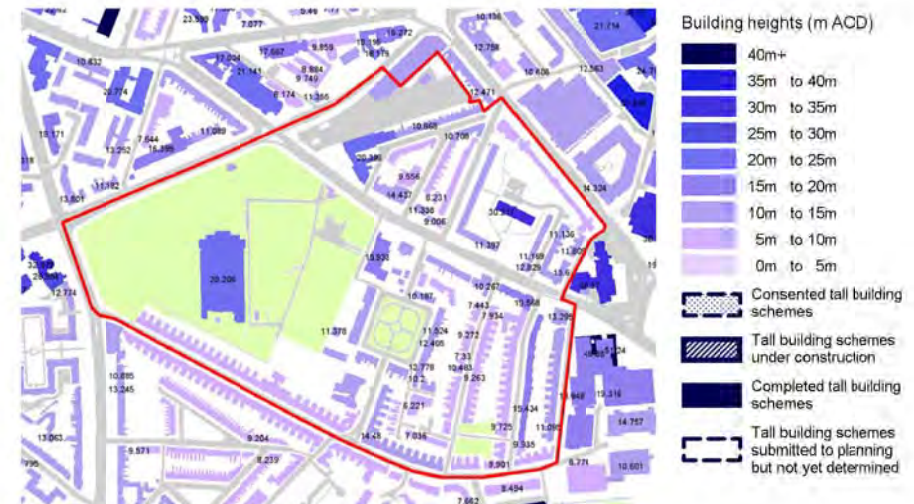
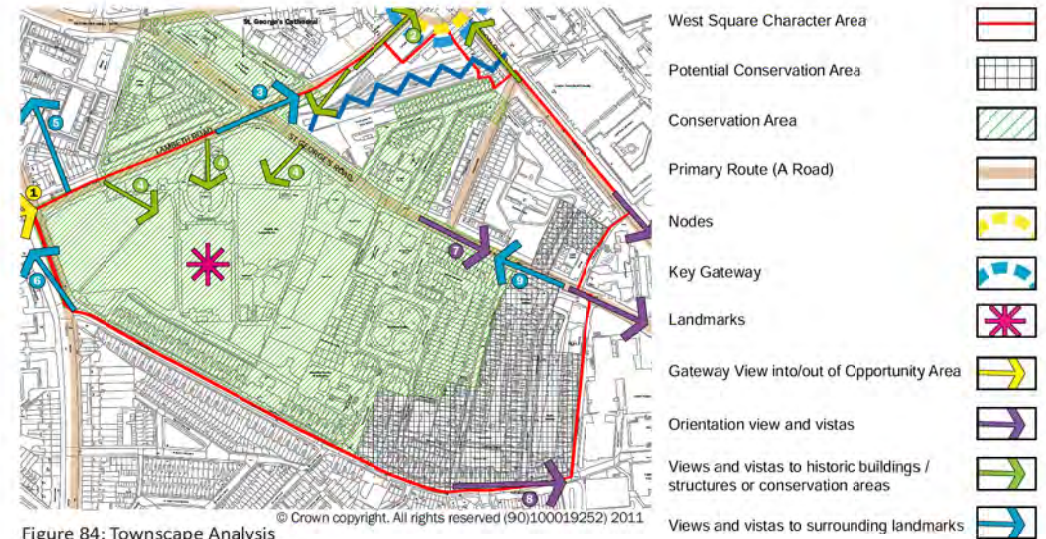
6.103 This character area has a number of views of interest (Fig. 84). There are gateway views into and out of the Opportunity Area along Lambeth Road (view 1). There are several surrounding landmark views from the Character Area to major London landmarks including the London Eye (view 6) (glimpsed) and the emerging Shard at London Bridge (view 3). Views are also obtained to the listed tower of the former Christchurch and Upton Chapel from Lambeth Road and St George's Road (view 5). St George's Circus and the listed Obelisk terminate Lambeth Road to the east (view 2). Southwards along St George's Road orientation views are available of the Elephant and Castle Central Area and its tall buildings (view 7). Views to the listed Imperial War Museum from Lambeth Road and London Road are also a feature (view 4).

Built Form

6.104 The built form is in large part a survival from the nineteenth century (Fig. 82). The buildings around West Square are late Georgian, in the Regency style, with substantial vertically proportioned windows and brick facades with stucco lower ground and ground floor elements. Roofs are in slate, some with attic storeys set between parapet party walls. The terraces on Colnbrook Street and Gladstone Street are mid 19th Century. They are predominantly two-storeys with mansard roofs. They are yellow stock brick with stucco banded rustication at ground floor and stucco dressings, slate roofs, behind stucco cornices. The later Victorian developments (for example on Brook Drive) are based around three storeys, hails adjoining, terraced housing in stock brick with stucco window surrounds and slate roofs. On Elliott's Row, there is a substantial range of late 19th/early 20th workers' housing based around tenement blocks built in a phases. These mix red and stock brick around a symmetrical bay design with a pedimented central feature. The predominant use of red and yellow brick is a unifying element of the area.

6.105 The institutional buildings are on an altogether larger scale, the largest of which is the Imperial War Museum from 1811-1814 with a giant portico. The imposing copper-clad dome and tower is a later addition (1844-46) to the original hospital building.

6.106 Building heights are generally fairly modest, with most in the range of two to four storeys (Fig. 85). The exception is Prospect House an 11 storey slab block development dating from the 1960s.



Character Area 9: West Square

Land Use

- 6.107 The main land use in the area is residential but, by area, the IWM takes up a considerable part of the character area, and has a significant influence on it as a result of the scale and prominence of the building, the substantial parkland in which it sits and the activities associated with a major national museum (Fig. 86). The latter results in much traffic activity on St George's Road from coach parties. The Notre Dame School and the associated Catholic Church buildings are also a significant institutional use in the area.
- 6.108 There are some isolated shop units on Brook Drive and several pubs.

Landscape and Open Space

- 6.109 There are substantial and high quality landscaped open spaces in the area including the gardens (Geraldine Mary Harmsworth Park) around the Imperial War Museum and West Square itself (Fig. 86) The West Square gardens are an example of a typical Georgian London Square. With formal, neat and well-treed gardens enclosed by a tall black metal railing primarily for the use of the residents overlooking the square. Incidental open spaces on the corner of St George's Road and Elliott's Row and the Lamlash Street allotments include mature trees. Mature trees are a feature of St. George's Road and London road having been planted at the time of the street layout and also within the Prospect House estate.

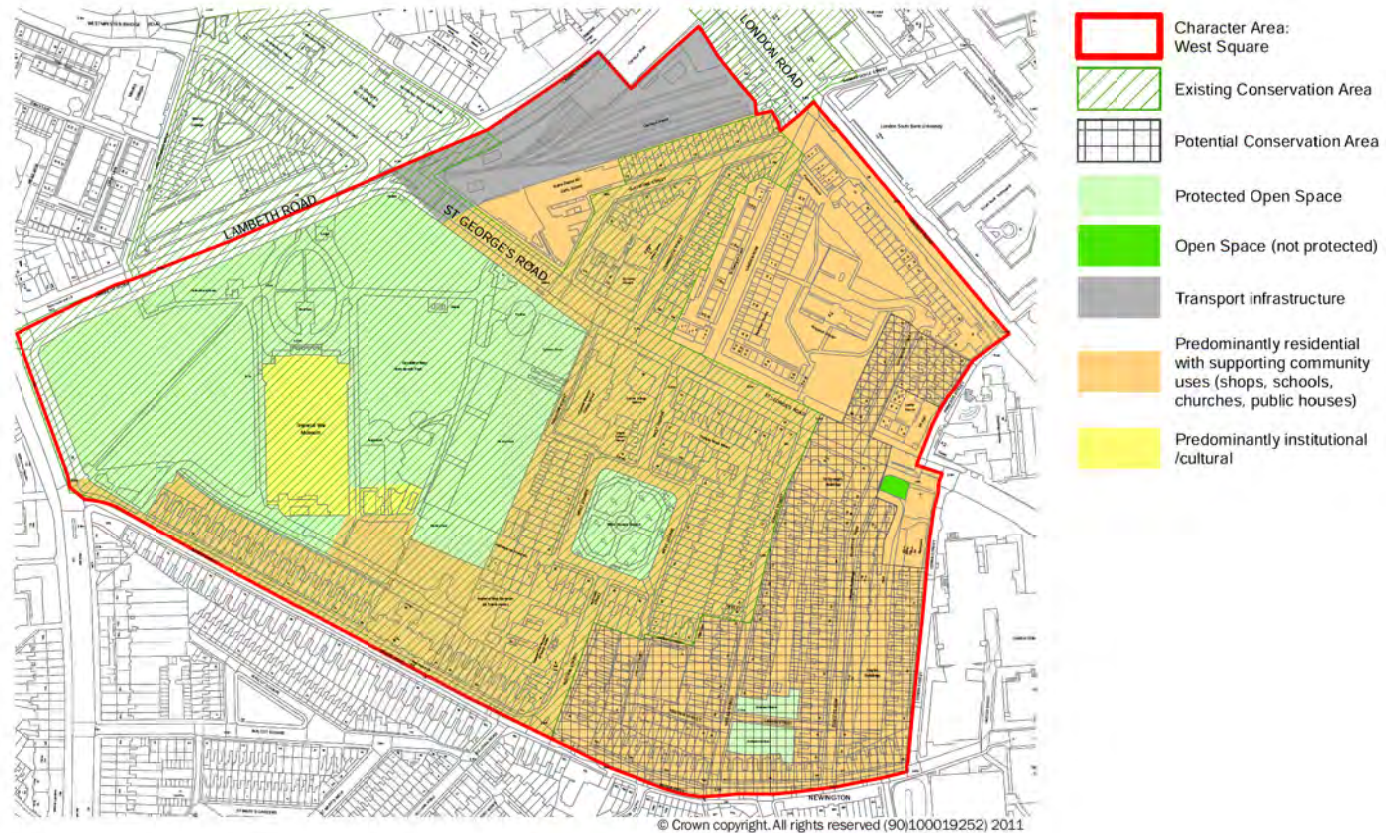


Figure 86: Land Use

Character Area 9: West Square

Heritage Assets

- 6.110 The built heritage of the area is a defining characteristic (Fig. 87). Most historic buildings are protected by the existing West Square Conservation Area designation. In addition the area of late-Victorian/early 20th Century terraced housing and tenement blocks based around Elliott's Row and the eastern end of Brook Drive is recommended as a new Conservation Area. Conservation areas within Lambeth cover much of the townscape to the south of the West Square Conservation Area providing a good quality, well-controlled setting (Fig. 15). The southern and eastern setting of the proposed Elliott's Row Conservation Area is weakened by late 20th Century development of limited quality, including the London College of Communication. Prospect House detracts significantly from the setting of Gaywood Street.
- 6.111 There are a large number of grade II listed buildings including the Imperial War Museum, the three sides of West Square, the Charlotte Sharman Primary School, Georgian terraces fronting St George's Road and the Victorian development on Colnbrook/Gladstone Street. The majority of the remaining 19th Century/early 20th Century buildings within the character area are either recommended for local listing or are considered buildings of townscape merit.
- 6.112 The grade II listed Roman Catholic Cathedral of St. George, Elizabeth Baxter House and Laurie Terrace on St. George's Road all form part of the setting of the Opportunity Area to the north, outside its boundary (Fig. 87).

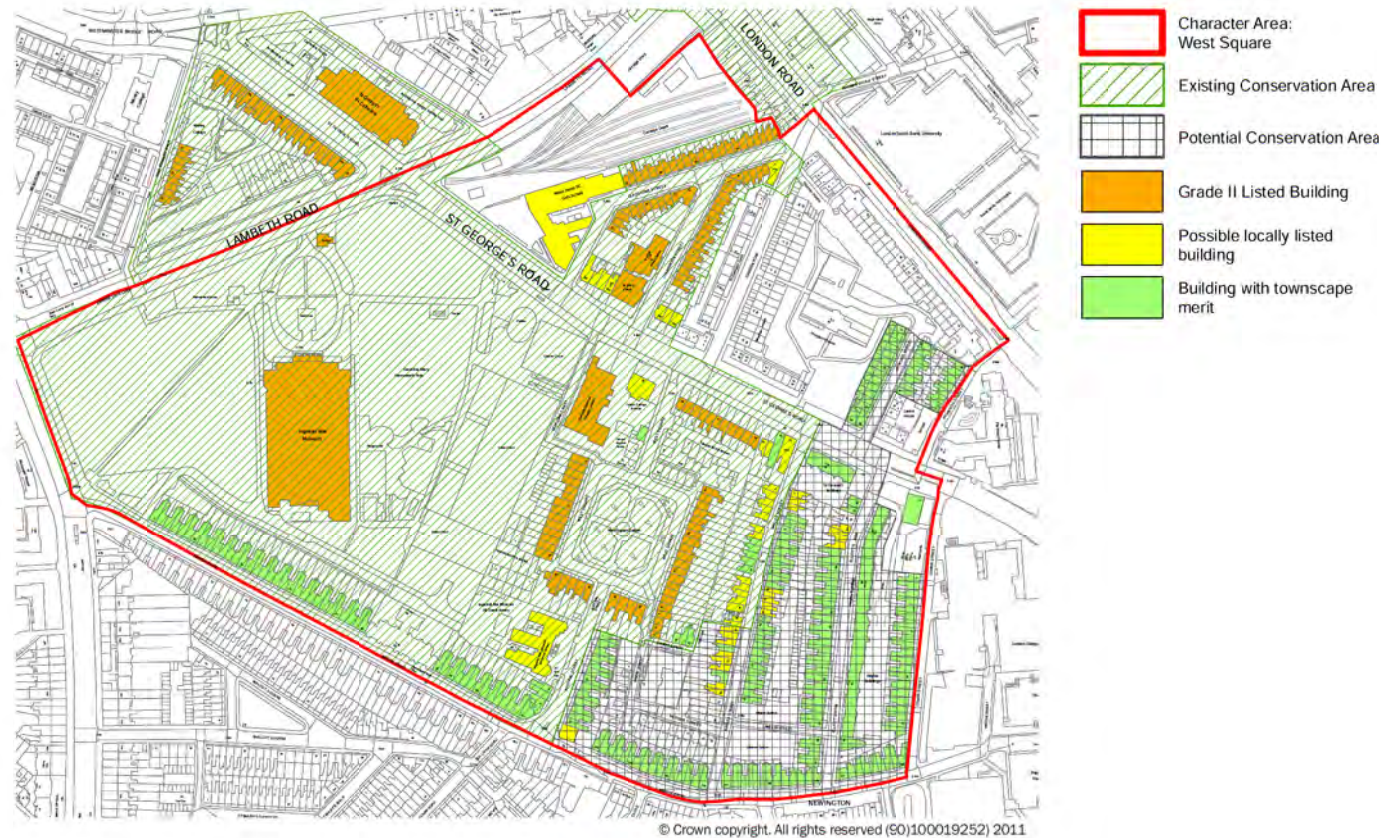


Figure 87: Heritage Assets

Opportunity Sites

6.113 The two opportunity sites identified are the scope for air rights development over the London Underground depot site to the south of Lambeth Road and the potential redevelopment of the corner block at the junction of Garden Row/London Road (Fig. 88).

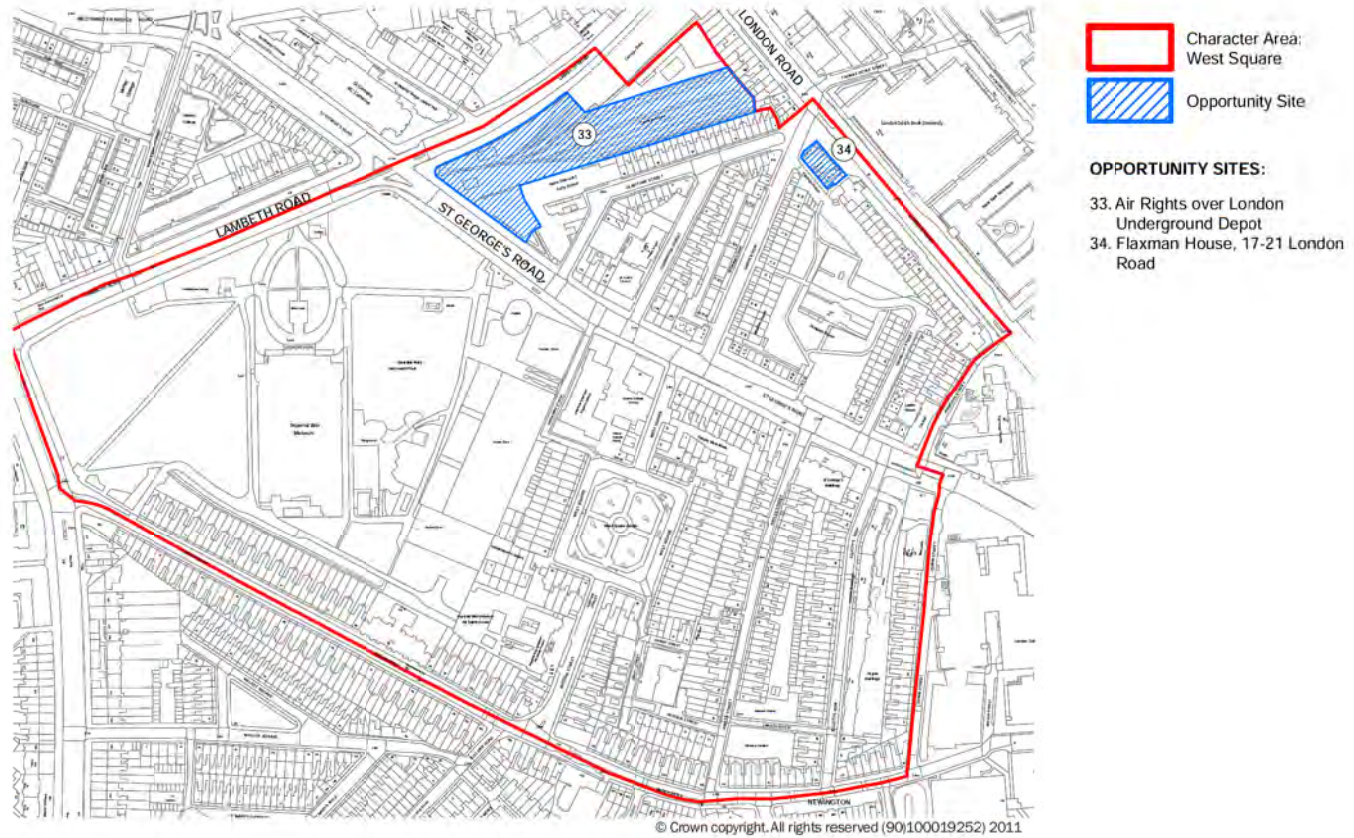


Figure 88: Opportunity Sites

7 Character Area Management

Objectives

- 7.1 The main purpose of characterisation studies is to establish parameters for the protection of character of value, enhancement of that value and, where appropriate, infill or redevelopment to overcome the influences of detracting elements. In common with conservation area appraisals, where current practice and guidance requires the development of management plans, it is appropriate to apply these general principles to the Elephant and Castle Opportunity Area based around the characterisation of the area set out above.
- 7.2 The Heygate Estate and parts of the Central Area are proposed for demolition and redevelopment. This area of regeneration should take account of the conclusions of this report, notably in its interaction, in land use and design terms, with the five other surrounding Character Areas (clockwise, Walworth Road, Pullens, West Square, Enterprise and Rockingham).
- 7.3 This section of the Characterisation Study therefore sets out a series of criteria to be applied to the future management of the area. The criteria and objectives set out below seek to promote positive change and the delivery of housing and employment targets as set out in the London Plan and Core Strategy. These should be taken into account in preparing the proposed SPD for the area. In turn, the SPD will inform individual development control decisions
- 7.4 The Opportunity Area is already covered by a range of generic and area specific development control principles set out in the Loncon Plan, the Southwark Core Strategy and saved Southwark Plan policies. In addition SPG and SPD policies apply. These provide general guidance on the land use principles for the area.
- 7.5 In relation to scale and massing, Core Strategy Strategic Policy 12 sets out the design and conservation policies for new development. This policy states that tall buildings could be built in the Elephant and Castle Opportunity Area. However, further work is required to determine where tall buildings would be appropriately located and those locations which would be inappropriate for such forms of development. Tall building proposals will need to consider the potential impact on the historic environment, heritage assets and their settings. This would include the potential impact on heritage assets in the wider area, in particular the strategic views from the Westminster Palace, Westminster Abbey and Saint Margaret's Church World Heritage Site, as set out in the July 2010 London View management Framework (including consideration of the draft additional view from Parliament Square).
- 7.6 Further national guidance is provided by the PPS/PPG framework and by the joint CABE and English Heritage Guidance on Tall Buildings. This policy framework is summarised in Section 4.0 above and set out in more detail in Appendix 3. It should therefore be the intention of the Council to ensure that the emerging SPD is informed by the existing and up to date policy context and that key land uses and landmark developments, including tall buildings are planned.
- 7.7 Of particular importance are the requirements set out in PPS5: Planning for the historic environment. The significance of heritage assets and their settings both within and beyond the boundary of the Opportunity Area should be considered in development management planning. Harm to the significance of heritage assets, including their settings, should be avoided.
- 7.8 Management guidance is also provided within appraisals that have been completed for Conservation Areas. A full list of current Conservation Area Appraisals within and adjacent to the Elephant and Castle Opportunity Area is contained in the Bibliography. However, development proposals will need to consider whether additional/ updated appraisals have been produced at the time of applications and the impact of any proposals on identified views from surrounding conservation areas.

Character Area Management Principles

- 7.9 This section sets out the specific criteria for each character area in relation to:
- 1 Accommodating change
 - i protect positive aspects of existing character,
 - ii address negative factors
 - iii key principles for change
 - iv key opportunity sites
 - 2 Land use
 - 3 Open Space
 - 4 Specific building design principles
 - 5 Movement
 - 6 Views

1. Central Area

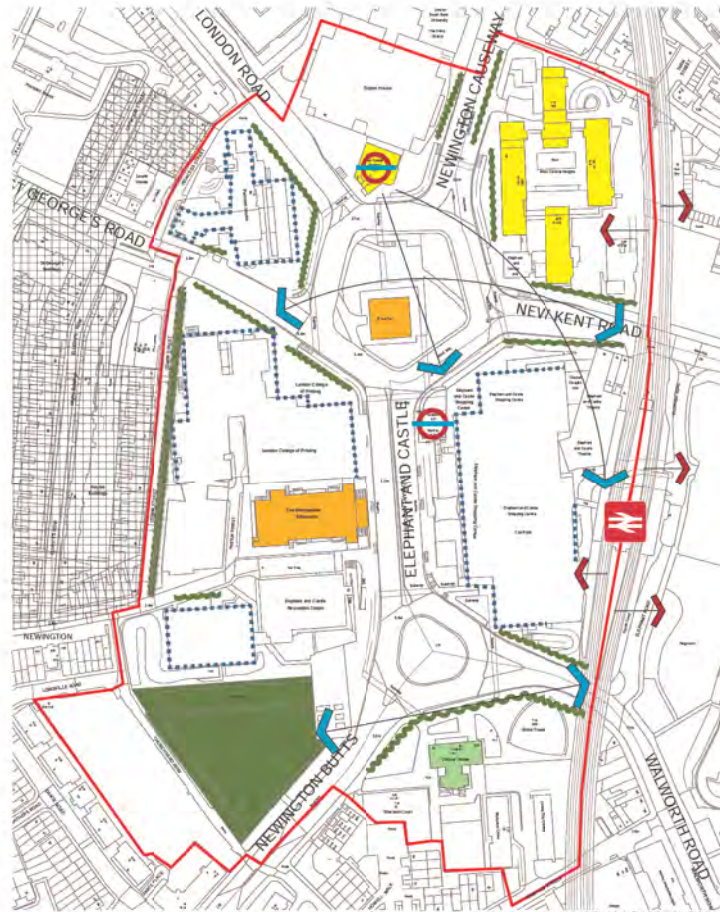
Accommodating change

7.10 In terms of existing character, the Central Area has a number of positive attributes which should be protected or enhanced through redevelopment proposals. These are:

- a Its vibrant land use mix
- b Heritage assets, for example the grade II listed Metropolitan Tabernacle and the grade II listed Michael Faraday Memorial, and buildings of townscape merit
- c The area's gateway character with views and vistas into and out of the centre, providing orientation as part of London "south central"
- d The area's evening economy (albeit there is potential to enhance this role)
- e The area's role as a transport hub (albeit much improvement of the way this works is required).

7.11 The Central Area also suffers from several negative characteristics which will need to be addressed in bringing forward proposals for change. These are:

- a The existing road layout, which creates major barriers to pedestrian movement and the environmental effects of traffic
- b The subway access across the road network which, despite its attractive tiled murals, is an unappealing means of access for pedestrians
- c The barrier effect of the railway viaduct
- d The poor access to the national rail station and the inadequate ticket hall to the LUL Northern Line
- e Generally a lack of active or animated frontages



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KEY			
	Character Area, Central Area		Opening up railway viaduct arches
	Existing Conservation Area		Enhance permeability / improve desire line links
	Potential Conservation Area		Introduce active frontages, where possible
	Grade II Listed Building		Improved connectors between transport modes
	Possible locally listed building		Where possible maintain / enhance existing landscape of value / street trees
	Building with townscape merit		

Character Area Management Plan 1



New Kent Road: Reduce existing vehicular dominated environment



Base of Metro Central Heights: encourage active uses at ground floor level



Northern roundabout: remove subways to create level pedestrian crossings

- f The mediocre quality of some 1960s and 1970s development, which could be addressed through redevelopment or re-cladding
- 7.12 The key principles for change in this area should therefore be as follows:
- a Build on the existing character of the mixed use Central Area by encouraging further development of a broad range of land uses, as set out in further detail management guidance below
 - b Develop some tall buildings in the area to reinforce the landmark/gateway characteristics of the area and make use of accessible land but having regard to the London and Southwark policies and guidance for tall buildings
 - c Address the barriers to movement across roads and to Elephant and Castle railway station
 - d Improve permeability through the area by reinforcing existing desire lines and establishing new pedestrian links including from St Mary's Churchyard across to Elephant Road and the railway arches
 - e Enhance the transport hub functions of the Central Area though enhanced legibility and better connections between transport modes
 - f Encourage changes that create a more pedestrian and cycle friendly environment reducing the adverse effects of the existing vehicle-dominated environment
 - g Address poor urban design by encouraging the development of buildings with animated and active frontages and access from street level

- h Deliver better quality open spaces creating a focus for the range of Central Area activities which exist and should be encouraged by the Council's Core Strategy and SPD policies for the area.
- i The Central Area would benefit from innovative, high quality lighting schemes to address crime/fear of crime around the station and highlight the station as a gateway into the Elephant and Castle Central Area.

7.13 With regard to opportunity sites, it is clear that major change can be accommodated within this area. Given the existing illustrative masterplan proposals, no other incidental opportunity sites have been identified. The Council should seek to ensure comprehensive redevelopment is implemented including the London Park Hotel site and the Elephant and Castle Leisure Centre adjacent to St Mary's Church Gardens.

7.14 Fig. 24 shows the opportunity site (site 1) .

Land use

7.15 In land use terms this area should build on its broad base of mixed Central Area and educational uses. Recently adopted Core Strategy policies support this aim with up to 45,000sqm of retail and leisure floorspace and 25,000-30,000sqm of business floorspace proposed (figures for the heart of the area including Heygate Estate and Enterprise Zone - see Figure 13 of the Core Strategy) and encouraging more offices, hotels, small businesses and developing the evening economy and cultural activities. The area should become a high-quality shopping destination in its own right to retain users in the area.

7.16 The Central Area also accommodates the London College of Communication (part of the London University of the Arts (LUA)). The Core Strategy promotes the development of the LUA as an important centre of learning and therefore encourages the continuation and further development of educational uses as part of the Central Area land use mix.

Open Space

7.17 St Mary's Churchyard has recently been re-landscaped. Detailed proposals for the northern roundabout (containing the electricity sub-station and a substantial area of open space) have yet to emerge. The proposed SPD should identify further opportunities for the enhancement and creation of a range of open spaces ranging including civic spaces, streetscape and soft landscaped areas.

Specific Building Design Principles

7.18 The Central Area has been identified as suitable for accommodating tall buildings (buildings of 30m above ground or 10 residential storeys and above). Indeed the Strata Tower (43 Storeys/148m AOD has already been built) and London Park Hotel (44 storeys/145.5m AOD) has gained consent. The building design principles for the area that should be followed are:

- 1 **Layout:** the layout of new development should provide open spaces, urban blocks and safe and attractive routes within and across the Central Area.
- 2 **Heights:** tall buildings can be accommodated within the Central Area but having regard to the management of protected views in the LVMF. Tall buildings should be of exceptional design quality and offer excellent quality accommodation.

They should enhance the public realm and the street scene. Every tall building should consider its setting and its placement to accommodate a generous, active, permeable and secure public realm. Tall buildings should conserve or enhance the setting of heritage assets, consider their relationship with other buildings in views and avoid harmful impact on the amenity of residents of neighbouring buildings.

- 3 **Massing and Form:** Whilst buildings of larger massing and footprint can be accommodated these should be carefully designed to reduce the sense of massing at street level. The interface of tall buildings at street level should be designed to create a more human scale of development and provide active frontages.
- 4 **Detailed Design:** High quality designs that respond to their context at the street level, utilise materials of character and depth and provide high quality accommodation that meets the needs of residents, occupiers and visitors to the area should be encouraged. New buildings will form part of the setting of the Michael Faraday Memorial Electricity Sub-Station and the Metropolitan Tabernacle (both grade II listed). The design of the buildings will need to give consideration to the conservation of their settings.

Movement

- 7.19 The following principles should be applied to new development:
- 1 The mainline station should be redesigned to be readily identifiable and accessible to all.
 - 2 The viaduct arches should be opened to improve east-west links.
 - 3 The subways should be removed to create level pedestrian crossings.

- 4 The southern roundabout has already been removed to improve pedestrian access and re-balance the environment to one that is more pedestrian friendly. Similar outcomes will need to be built into proposals to re-configure the northern roundabout.
- 5 Develop better integration with surrounding character areas to create links between uses and enhanced movement across the Opportunity Area

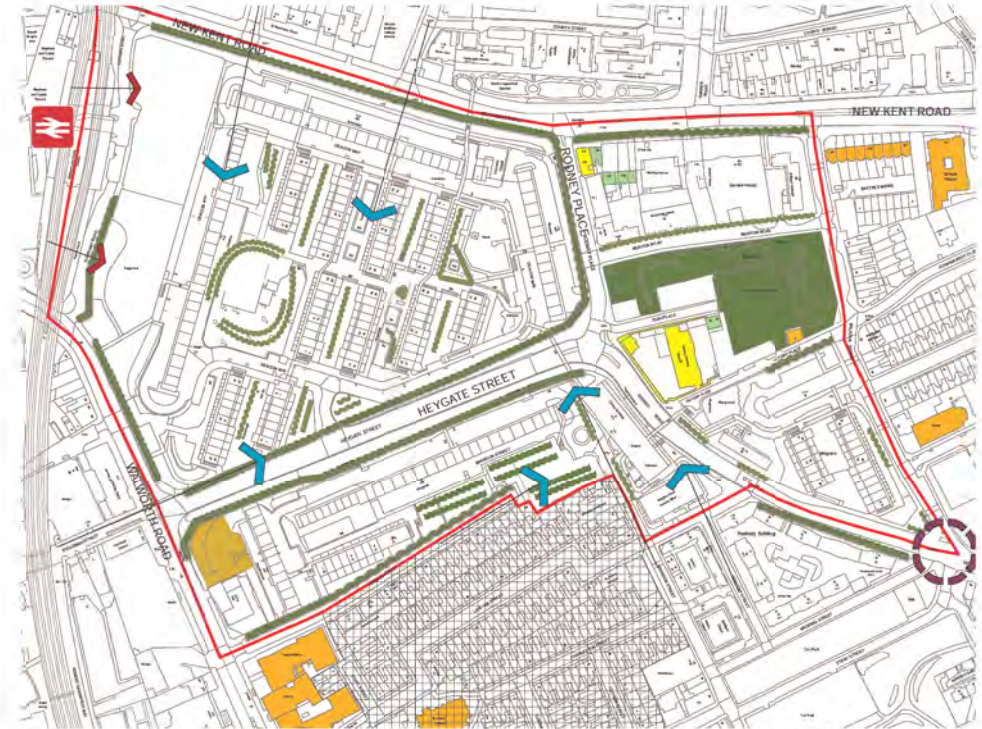
Views

- 7.20 The Central Area currently has a prominent role in views from the wider opportunity area and from further afield in London. The introduction of additional tall buildings within this area will need to consider its impact on views in the wider area and the London Skyline. Depending on their location within the Central Area the proposed tall buildings may fall within the Landmark Background Assessment Area for View 1: London Panorama from Alexandra Palace and View 23: Townscape View from the bridge over the Serpentine. The defined threshold heights are set out in the LVMF and summarised in Section 4.0.
- 7.21 Settings of heritage assets should be conserved or enhanced and the harmful impact of unsympathetic advertising, prominent in the views of the Tabernacle and the Michael Faraday Memorial should be avoided.
- 7.22 In the event that the Network Rail station is redeveloped, consideration should be given to the opportunity to create a landmark and orientation view towards St Paul's Cathedral.

2. Heygate Street

Accommodating Change

- 7.23 While much of the character of the existing Heygate Estate is negative (see below) some positive attributes exist within the area suggesting that care should be exercised in promoting wholesale change:
 - a The area contains the vestige of the historic street pattern in the north-east of the character area
 - b Some undesignated heritage assets have been identified for retention (e.g. Victory Primary School, the Crown and Anchor pub and adjacent 19th Century buildings)
 - c The area is characterised by mature tree planting which should be retained if possible
 - d The character area contains the Victory Community Park
- 7.24 The negative elements are largely associated with the Heygate Estate, both in its detailed architecture and in its layout. These lead to:
 - a Poor legibility, even though much of the estate is accessible on foot
 - b Visual barriers arising from the horizontal scale of the slab blocks
 - c Lack of active or animated frontages, partly as a result of the garaging at the base of the blocks
 - d Inappropriate attempts to separate pedestrian and vehicular traffic giving roads a imposing "do not cross" feel
- 7.25 The key principles for change will include the demolition of the Heygate Estate and major new development based around a mix of uses. Drawing on the positive characteristics of the area, the new developments should:



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KEY

- Character Area: Heygate Street
- Potential Conservation Area
- Grade II Listed Building
- Possible locality food building
- Building with townscape merit
- Opening up railway viaduct/arches
- Enhance permeability / improve desire line links
- Maintain / improve nodes / views
- Opportunity to create public open space
- Where possible maintain / enhance existing landscape of value / street trees

Character Area Management Plan 2

- a Positively address the existing landscape of value including mature trees and the park
- b Re-instate a logical street pattern with clear fronts and backs that create human scale streetscapes and active uses at ground level as far as possible
- c Enhance permeability through and into the character area reinforcing existing desire lines and establishing new pedestrian links
- d Have regard to the setting of heritage assets and buildings of townscape merit within the character area and also at its fringes, notably in relation to the Larcom Street proposed conservation area

7.26 With regard to the opportunity sites in the area, the major site is the Heygate and the associated cluster of housing at Wingrave. The northern elements will offer important opportunities to form part of, and be integrated with, the Central Area development proposals.

7.27 Beyond the Heygate Estate and the Wingrave “annex” to the east, opportunities for redevelopment may be available on sites between Munton Road and New Kent Road. If these are brought forward for residential redevelopment the Council should seek to encourage other uses at ground floor such as retail and community use.

7.28 Fig. 32 shows the location of the opportunity sites. These are:

- 2. Heygate Estate - Demolition and redevelopment (Lend Lease scheme)
- 3. 1-27 Rodney Place - Demolition and redevelopment
- 4. Surdaw House - Demolition and redevelopment
- 5. Corner of Elba Place/Rodney Place - new build

Land Use

7.29 The wholesale redevelopment of the Heygate Estate for mixed uses should seek to provide active uses or good levels of natural surveillance at ground floor level with residential above. Wingrave should be redeveloped to provide uses which have regard to the existing local character and context. The Council should seek to retain supporting uses to the north-east part of the character area (fronting New Kent Road) including the public house, retail premises and the school.

Open Space

7.30 Potential open space parameters for this area were set out in the illustrative masterplan (2004). This proposed a complete reconfiguration of the existing provision to create a new Market Square adjacent to the viaduct and a new Town Park to the centre of the redeveloped residential area. The Council should support these general principles when a detailed planning application for the area comes forward (potentially autumn 2011).

7.31 The Council should seek to encourage the creation of a new public space to the east of Walworth Road. It could provide an exhibition space and meeting point on Walworth Road. This space should contain soft landscaping, provide seating and potentially a children’s play area and the landscape principles could be extended westwards to create a relationship with the buildings on the western side of Walworth Road.

Specific Building Design Principles

7.32 The building design principles for the area should include:

- 1 **Layout:** A robust street structure should be re-instated. The layout of development should encourage permeability and the creation of attractive open spaces

which will be well used and have a clear functional relationship to the surrounding townscape. New buildings should address the streets and include animated active frontages. Defensible space should be provided which has a clear landscape or functional purpose.

- 2 **Height:** Taller buildings can be accommodated to the western and northern edges of the character area subject to the effects on strategic views (see the LVMF SPG). These would relate to the taller buildings within the Character area and fronting New Kent Road. Development should progressively reduce in height through the character area towards the interface with surrounding buildings to be retained. Existing buildings heights to the east and south (Rodney Place and Wansey Street) are generally 2-3 storeys, although the recently built Garland Court at the western end of Wansey Street is six storeys. Given these adjacent building heights lower buildings should be introduced adjacent to the potential Larcom Street Conservation Area to the south. Tall buildings should be appropriately placed in terms of their relationship to the hierarchy of streets and spaces, to help create a legible environment.

- 3 **Massing and Form:** Whilst buildings of larger massing can be accommodated nearer to the viaduct and Central Area, consideration must be given to breaking down the massing at the interface with existing smaller scale development to the east and west. How tall buildings address the public realm must also be considered.



Heygate Street: where possible retain mature street trees



Victory Community Park: should be maintained and enhanced



Junction Rodney Place/New Kent Road: build on remaining heritage assets within the area

They should provide a generous, active, permeable and secure public realm of human scale.

- 4 **Detailed Design:** High quality designs that respond to their context at the street level, utilise materials of character and depth and provide high quality accommodation that meets the needs of residents, occupiers and visitors to the area should be encouraged. Contemporary construction techniques and materials can be accommodated within the centre and northern and eastern edges of the area. Careful consideration will need to be given to the knitting of contemporary new buildings to existing development particularly at the south and eastern edges where 19th Century predominantly low-scale brick buildings feature notably in the proposed Larcom Street conservation area.

Movement

- 7.33 The Council should seek significant alterations to the movement network to improve access within and through the area. These may build on the principles established by the illustrative masterplan (2004) and may include:
- 1 Improve east/west connections (e.g. by opening up the arches in the railway viaduct)
 - 2 Use existing corridors for movement where mature planting exists
 - 3 Provide a pedestrian friendly environment within which is easy to navigate
 - 4 Provide for the needs of cyclists, ensuring safe and legible routes
 - 5 Connect the area with existing transport

infrastructure providing pedestrian and cycling routes to bus, train and underground facilities

Views

- 7.34 The introduction of additional tall buildings within this area will need to consider its impact on views in the wider area and the London Skyline. Depending on their location, the proposed tall buildings may fall within the Landmark Background Assessment Area for View 1: London Panorama from Alexandra Palace and View 23: Townscape View from the bridge over the Serpentine. The defined threshold heights are set out in the LVMF and summarised in Section 4.0.
- 7.35 A series of key views are set up from the node at the junction of Orb Street/Balfour Street/Rodney Road. Looking north-west, Rodney Road curves north, revealing the richly articulated façade of the Peabody Buildings offset by mature tree planting. The effect of new development on this view should be carefully considered and the positive attributes of the Peabody Buildings should be a starting point. The height, scale, massing, materials, articulation of façade and varied and interesting roofline may provide a cue for the design of new buildings. The setting of St. Margaret's Church on Balfour Street will need to be preserved.
- 7.36 Consideration should also be given to the preservation of the view of St. Paul's Cathedral (grade I listed) from Camberwell Road. The character area falls between the two.

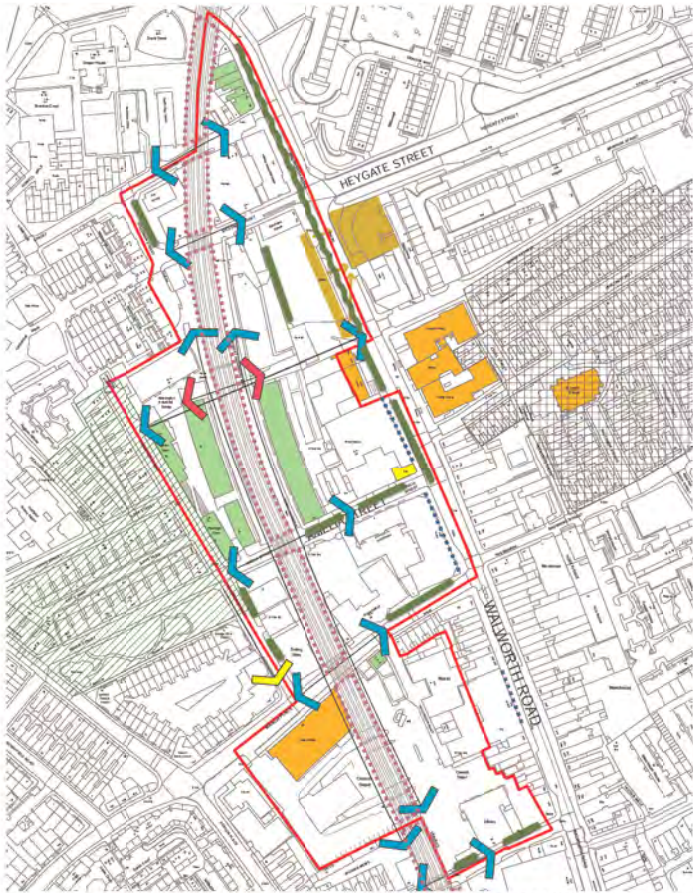
3. Rail Corridor

Accommodating Change

- 7.37 The Rail Corridor contains a number of positive characteristics which will need to be protected and enhanced through policies and decision-making. These are:
- a The heritage assets and buildings of townscape merit highlighted on the area analysis mapping
 - b The historic railway viaduct. While this forms a barrier it includes attractive areas of brickwork, demonstrating the skills of Victorian engineering
 - c The contemporary mixed use insertions which reinforce the linear character of the corridor and successfully address both the rail viaduct the streets around them
- 7.38 The negative features stem largely from the following characteristics:
- a The relatively poor east/west connections, due to the physical barrier of the rail viaduct
 - b Poorly defined frontages to some sites, with open parking areas and lack of animation.
 - c Poor public realm and lack of open space
- 7.39 Relatively major change can be accommodated within this area. The key principles for change should address connectivity across the corridor, include further areas of mixed use development and ensure that buildings create appropriate frontages to streets.
- 7.40 The northern half of the character area falls within the illustrative masterplan (2004). In addition a number of opportunity sites have been identified within the area - the Council Depot to the rear of the former Manor Place Baths, Occupation Road, the Police Station and Chatelaine House and the Sorting Office.

7.41 Fig. 40 shows the location of the opportunity sites. These are:

- 6. Hampton Street (between No. 6 and the viaduct) - Brownfield site for development or opening up viaduct
- 7. Day Nursery and 20 Steedman Street - demolition of pre-fab and industrial unit for redevelopment
- 8. Nos. 2-10 Steedman Street - Demolition and redevelopment of 1930s-1950s commercial unit
- 9. T. Clarke Building/Extension to John Smith House/Police Forensics Lab and Hotel on Amelia Street - Part vacant plot/ demolition and redevelopment
- 10. Newington Industrial Estate - demolition and redevelopment
- 11. Sorting Office and 31 Amelia Street - demolition and redevelopment
- 12. Police Station and Chatelaine House - demolition and redevelopment
- 13. Land to the rear of the former Manor Place Baths - demolition and redevelopment
- 14. Occupation Road - demolition and redevelopment



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KEY	Character Area: Rail Corridor	New development to respect existing view	Where possible maintain / enhance existing landscape of value / street trees
	Existing Conservation Area		Enhance permeability / improve desire line links
	Potential Conservation Area		Introduce active frontages where possible
	Grade II Listed building		Encourage use of railway arches
	Possible locally listed building		Opportunity to create public open space
	Building with townscape merit		Opening up railway viaduct arches

Character Area Management Plan 3

Land Use

7.42 The redevelopment of this area to provide high density residential blocks has already begun to alter the predominantly light industrial land use character of this area. The Council should continue to support this approach to make best use of previously developed, under-used land. A mix of residential and commercial uses will be appropriate for the area. The Council should encourage the use of the existing railway arches and the buildings facing the railway for new commercial activity including offices, workshops and live-work units. These may also be suitable for cultural uses.



Crampton Street: Example of new residential development

Open Space

7.43 The scope to introduce new open spaces in the area is likely to be limited. There may be the opportunity of introducing open space/landscaping to the north of the grade II listed John Smith House. This space could complement new open space on the western side of Walworth Road (see paragraph 7.31) Proposals must respect the setting of John Smith's House. In addition, the quality of the public realm throughout the character area could be enhanced. The Council should encourage schemes to achieve greater consistency in streetscape materials and design. The area could be enhanced through the addition of street trees.



Manor Place: Redevelopment opportunities should address poorly defined frontages

Specific Building Design Principles

7.44 The following building design principles should be met:

- Layout:** new build or conversion projects should seek to create active or animated building frontages to the streets and provide rear courtyards. The existing east-west links should be respected and where possible (Robert Dashwood Way) new east/west and north/south links through



Steedman Street: Improvements to the pedestrian environment, for example beneath the railway arches should be made

should be created. Existing building lines on Walworth Road should set the alignment of proposed development. Careful consideration will need to be given to building alignments of new development between the T.C Clarke Building and The Tankard Public House whilst respecting the set back of the grade II listed buildings (140-152 Walworth Road).

- 2 **Height:** Taller buildings can be accommodated immediately adjacent to the railway viaduct and towards the north of this character area as exemplified by the heights of recent development (up to 10 storeys). Tall buildings should be of exceptional design quality and offer excellent quality accommodation. They should enhance the public realm and the street scene. Every tall building should consider its setting and its placement to accommodate a generous, active, permeable and secure public realm. Tall buildings should conserve or enhance the settings of heritage assets, consider their relationship with other buildings in views and avoid harmful impact on the amenity of residents of neighbouring buildings. Moving away from the viaduct and southwards within the character area building heights and massing should generally be set by the prevailing heights of the surrounding development (predominantly 3-4).

- 3 **Massing and Form:** Buildings of larger massing would be appropriate immediately adjacent to the viaduct. On the Walworth Road frontages the building form should be smaller scale and relate to the surrounding built form. Larger footprints should be broken down by sub-division of elevations, well articulated and active frontages.
- 4 **Detailed Design:** High quality buildings that respond to their context at the street level, utilise materials of character and depth and provide high quality accommodation that meets the needs of residents, occupiers and visitors to the area should be encouraged. Detailed design of the Walworth Road frontages should respond to adjacent buildings.
- 5 **Heritage effects:** the setting of the cluster of civic listed buildings (grade II) on the Walworth Road and the grade II listed John Smith House should be given careful consideration in assessing development proposals in the eastern part of the character area. Similarly, development affecting the former Manor Place Public Baths (grade II listed) will need to be carefully considered.

Movement

- 7.45 The Council should seek to enhance the railway viaduct arches (wall treatment, lighting, hard and soft landscaping) to provide a high quality pedestrian environment and encourage east-west pedestrian movement through the area. The Council should seek to ensure that new developments are knitted into the existing street network and where appropriate access through each new development is provided to adjacent sites to ensure the creation of an interconnected public realm, including extending Robert Dashwood way northwards.

- 7.46 Emphasis should be given to enhancing permeability through the character area, reinforcing existing desire lines and establishing new pedestrian links.

Views

- 7.47 Opportunity sites (See figure 40) have been identified at the interface of the Walworth Road. The redevelopment of these negative features would enhance the Walworth Road frontage and consequently enhance the views along the Walworth Road to the Central Area and its tall buildings. The potential redevelopment of the Sorting Office should ensure views towards the former Manor Place Public Baths are retained.

4. Enterprise Quarter

Accommodating Change

- 7.48 The area's positive attributes are mainly a function of its land use mix and the presence of some important heritage assets:
- a The Enterprise Quarter contains large scale, institutional and commercial buildings and marks it out as part of the centre of a large city. These buildings are in some cases identified as candidates for local listing or as buildings of townscape merit
 - b The heritage of the area is revealed through the Georgian town planning of St George's Circus Conservation Area including the axial views radiating from the Circus obelisk (grade II* listed). These views take in both historic and contemporary landmark buildings and help place the character area in its wider city context
 - c The area contains a lively mix of uses including commercial, higher education and institutional (Sessions House) uses
 - d Many of the major streets have a "boulevard" feel derived from mature street tree planting
- 7.49 The negative characteristics, which will need to be addressed through policy and development management include:
- a The lack of active frontages in some areas, notably in relation to parts of the LSBU campus
 - b The loss of the historic street pattern, again associated with the LSBU campus
 - c The 1960/70s architecture and urban design, much of which is not distinguished in concept or detailed execution
 - d The lack of well defined and maintained public open space

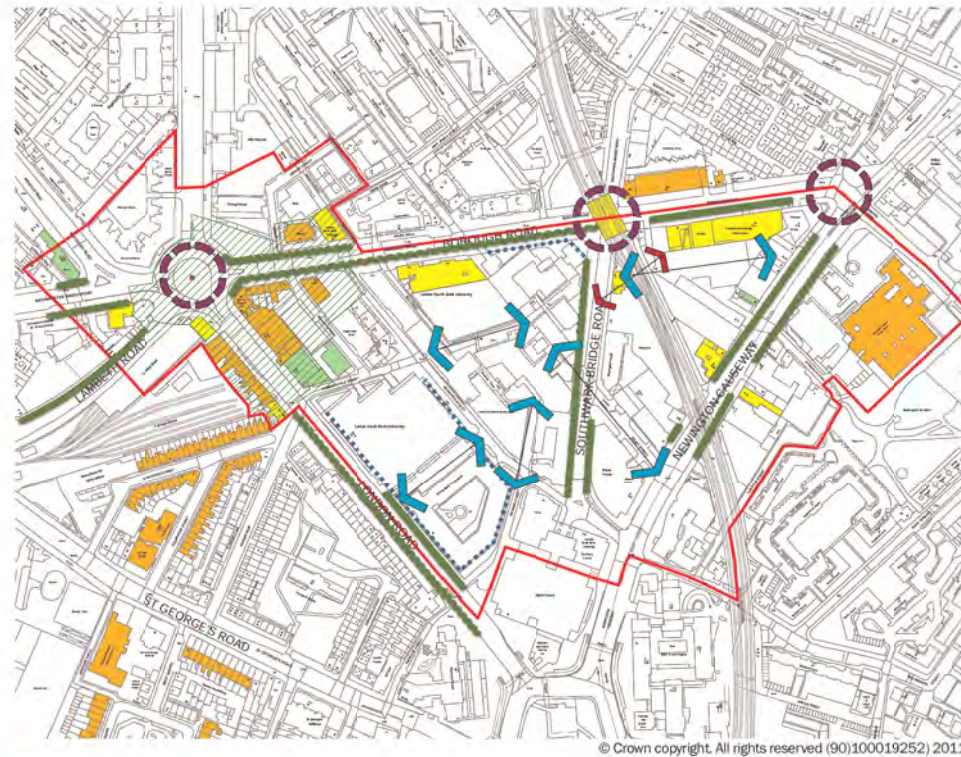
7.50 The key principles for change should therefore seek to:

- a Reinforce the existing and use mix, including education and commercial development but also including some residential uses to avoid periods of low activity (for example weekends outside of University term time)
- b Ensure that new development creates an appropriate relationship to streets
- c Ensure that safe and attractive routes are identified and enhanced to address the loss of the historic street pattern
- d Maintain and enhance street tree planting
- e Introduce new and high quality open spaces
- f Introduce innovative, high quality lighting schemes to complement Central Area lighting schemes and address crime/fear of crime
- g Encourage a high standard of architecture and urban design consistent with this central London location (detailed principles are provided below)

7.51 A moderate level of change can be accommodated within the area through development of vacant/underused sites and replacement of limited quality existing University and commercial buildings. The area presents a number of opportunity sites for redevelopment.

7.52 Fig. 48 shows the location of the opportunity sites. These are:

- 15. Erlang House - demolition and redevelopment
- 16. Newington Triangle - partial demolition and redevelopment with retention of possible locally listed buildings and buildings of townscape merit.



KEY	
	Character Area Enterprise Quarter
	Existing Conservation Area
	Grade II* Listed Building
	Grade II Listed Building
	Possible locally listed building
	Building with townscape merit
	Opening up railway viaduct arches
	Enhance permeability / improve desire line links
	Maintain / improve route / views
	Opportunity to introduce active frontages where possible
	Where possible maintain / enhance existing landscape of value / street trees

Character Area Management Plan 4



St George's Circus: Redevelopment should conserve or enhance the setting of the grade II* listed obelisk



St George's Circus and West Square: Maintain and enhance street trees



Corner of Thomas Doyle Street and Rotary Street: Opportunity to refurbish historic buildings

- 17. Nos. 57-87 Newington Causeway/ Avonmouth Street - partial demolition and redevelopment with retention of possible locally listed buildings and buildings of townscape merit.
- 19. Rear of LSBU building - demolition and redevelopment (frontage candidate for local listing)
- 20. No. 229 Southwark Bridge Road - potential opening up of viaduct arch to link to Newington Triangle redevelopment site
- 21. Corner of Keyworth Street/Borough Road - new building
- 22. Corner of Thomas Doyle Street/Rotary Street - refurbishment of existing historic buildings
- 23. London Underground Depot Carriage Shed - retain and refurbish historic elements, new build elsewhere

7.53 The LSBU has a programme of building expansion and redevelopment in place to accommodate its rising student numbers and planning permission has already been granted for two sites - Keyworth II (now completed) and St. George's Chapel.

7.54 The LSBU should work with the Council to implement its requirements whilst meeting the wider regeneration vision. Additional guidance on delivering this vision should be set out in the SPD.

Land Use

7.55 While this character area can accommodate some change, the Council should seek to maintain and reinforce the existing land use mix, comprising mainly education and commercial uses.

Open Space

7.56 The Council should seek to encourage public realm improvements and the introduction of street trees in association with development proposals to mitigate the lack of opportunities for open space within character area.

Specific Building Design Principles

7.57 The following building design principles should be met:

- 1 **Layout:** the approach to layout should seek to avoid re-enforcing the negative aspects of the character area. New buildings should include animated active frontages and defensible space which has a clear landscape or functional purpose. The layout of development should encourage permeability and the creation of attractive open spaces which will be well used and have a clear functional relationship to the surrounding townscape
- 2 **Height:** Given the existing larger scale development and proximity to the proposed tall buildings within the Central Area the area can accommodate some taller buildings (in the region of 8-10 commercial storeys) within the LSBU campus area towards the centre and south of the character area. Building heights will however need to respond to adjacent buildings and the Council will consider each opportunity site on its own merits. Fronting St. George's Circus, heights of up to 8 residential (6 commercial) storeys may be appropriate (depending on proposed use and detailed design). Elsewhere, such as development fronting Borough Road lower 3-5 commercial storey development may be more appropriate to relate to existing 19th Century development within the vicinity. Whilst generally buildings of up to 7 commercial

storeys or 9 residential storeys may be appropriate along Newington Causeway, heights should step down adjacent to the grade II listed Sessions House. There may be opportunities to introduce taller buildings (over 10 storeys) along the western side of Newington Causeway as these could mark the gateway into the Central Area and its taller buildings. Any tall buildings proposed should be of exceptional design quality and offer excellent quality accommodation. They should enhance the public realm and the street scene. Every tall building should consider its setting and its placement to accommodate a generous, active, permeable and secure public realm. Tall buildings should conserve or enhance the setting of heritage assets, consider their relationship with other buildings in views and avoid harmful impact on the amenity of residents of neighbouring buildings.

- 3 **Massing and Form:** Buildings of large footprint that truncate existing through streets, similar to those that have previously been introduced within the area, should not be acceptable. The footprints of buildings must allow permeability through the area. Where taller buildings are proposed their overall scale and massing should be broken down through the sub-division of elevations and the articulation of frontages giving careful consideration to their relationship to the ground plane.
- 4 **Detailed Design:** High quality designs that respond to their context at the street level utilise materials of character and depth and provide high quality accommodation that meets the needs of residents, occupiers and visitors to the area should be encouraged. Traditional or modern,

innovative design that reinforces the presence of the LSBU, whilst enhancing the setting of the historic buildings within the area would be appropriate.

Movement

7.58 Where buildings of large footprints hinder movement through the area the Council should implement a cohesive public realm strategy that includes way-finding improvements (signage, changes to paving etc.) to encourage pedestrian legibility.

7.59 When development sites are brought forward the Council should seek to improve the permeability of the area by encouraging new public pedestrian routes for example from London Road to Keyworth Street (between the two large university buildings); from Keyworth Street to Southwark Bridge Road (extension of Thomas Doyle Street); from Gaunt Street to Borough Road (extension of Gaunt Street northwards); and, to the east of the railway viaduct from Newington Causeway to Borough Road. If opportunities arise to open up the arches of the railway viaduct, the Council will seek to implement these (for example, adjacent to 229 Southwark Bridge Road).

Views

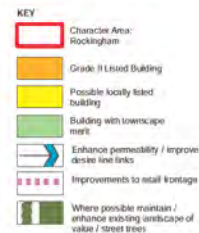
7.60 St George's Circus and its grade II* obelisk creates a series of historic planned vistas which are a significant feature of the character area. These vistas should be protected with particular attention given to the design and quality of buildings proposed fronting St George's Circus (providing the backdrop to the obelisk).

7.61 The painted, iron railway bridge also forms an interesting and attractive feature in local views along Borough Road. Development proposals in its vicinity should give consideration to conserving and enhancing the setting of this feature.

5. Rockingham

Accommodating Change

- 7.62 The Rockingham area displays a number of positive attributes in its existing character. They are:
- The historic open space at Newington Gardens (undesigned)
 - The mature landscaping and tree planting interspersed within the blocks
 - The generally robust brick architecture which has proved durable and capable of adaptation over the years, notably outliving later generations of social housing
 - The relative cohesion of its urban design, albeit this is at odds with the current preference for well defined street blocks and frontages and can lead to “left over” spaces.
- 7.63 The negative characteristics of the Rockingham area are:
- While there is in practice a high level of permeability between blocks, it is not clear how public and private routes are defined. This contributes to a lack of legibility
 - The roads in the estate are engineered to a high standard, in some cases exceeding the levels of traffic using them. This can dominate the pedestrian environment.
- 7.64 The key principles for change are therefore limited to:
- Some infill developments on appropriate sites. One is identified below. These should be based on the typical scale of existing development in the character area



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Character Area Management Plan 5



Hand in Hand Public House: opportunity to develop



Rockingham Street: landscape between existing blocks should be improved



Harper Road: improvements should be made to the Harper Road retail frontage

- b Improving the streetscape where there is potential to reduce the dominance of highways in favour of pedestrian friendly areas
- c Improving landscaping between the existing blocks, where necessary to enhance settings and improve legibility.
- d Improvements to the retail environment along Harper Road

7.65 The only opportunity site that has currently been identified is located on the corner of Meadow Row and Rockingham Street. However, redevelopment of other blocks particularly the late 20th Century blocks of flats may come forward.

7.66 Fig. 56 shows the location of the following opportunity site:

- 24. Hand in Hand Pub - demolition and redevelopment

Land Use

7.67 In land use terms it is an established residential area (with supporting community uses). This existing mix should be maintained.

Open Space

7.68 The existing open space - both the landscaped gardens surrounding the estates and the parks - which are generally of high quality, should be protected and improved.

Specific Building Design Principles

7.69 The building design principles set out below should be met.

- 1 **Layout:** The existing layout of the area is characterised by housing blocks generally set in mature landscaped grounds. Should a small development site come forward, for example the opportunity site identified on the corner of Meadow Row and Rockingham Street, the layout should generally complement the adjacent buildings. In that case, following the established building line of Smeaton Court would be appropriate. For other development sites, it may be appropriate for the layout to follow the established layout of the area, with residential blocks set in landscaped grounds. This will need to be carefully considered on a site by site basis. All development should seek to reinforce the street pattern by providing defined boundary treatments and building heights that are appropriate to enclose the width of streets/spaces.
- 2 **Height:** The predominant building height of around five residential storeys is generally considered appropriate for the area. The height of development proposals will be expected to be justified in the context of adjacent building heights.
- 3 **Massing and Form:** The established principles of around five storey residential blocks, generally with linear footprints, is considered to be an acceptable development form for the area. The 18 storey high Albert Barnes House is uncharacteristically high and should not be a precedent for new tall buildings on this area

- 4 **Detailed Design:** High quality designs that respond to their context at the street level utilise materials of character and depth and provide high quality accommodation that meets the needs of residents, occupiers and visitors to the area should be encouraged. Given the variety of buildings in the area either a high quality contemporary or traditional response could be accommodated. Development will be expected to employ the predominant brick palette of the area. Improvements to the retail environment along Harper Road could include upgraded shop fronts, enhanced lighting, improved paving, better street furniture, clearer signage and better security and community safety (the Council are completing such improvement works under the Improving local retail environments (ILRE) project).

Movement

- 7.70 Where the established layout of buildings has hindered movement through the area, the Council should seek to deliver a cohesive public realm strategy that includes way-finding improvements (signage, changes to paving etc.) to encourage pedestrian legibility. Robust boundary treatments and buildings which successfully enclose streets and spaces will assist with improved legibility and permeability.
- 7.71 Connection beyond the Character Area to other parts of the Opportunity Area could be improved, notably across New Kent Road to the Heygate area where there is a currently a major severance effect.

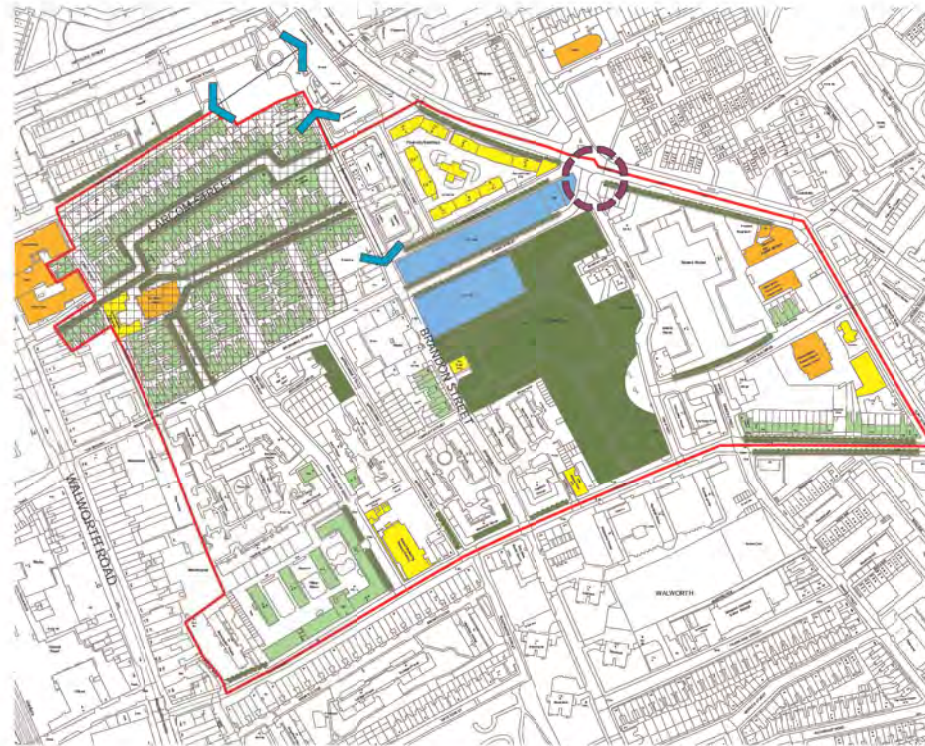
Views

7.72 The Rockingham character area contains a series of unplanned views to the Shard (London Bridge Tower) and the Strata (for example from Rockingham Street). These help with local orientation but no specific protection of these views is considered necessary.

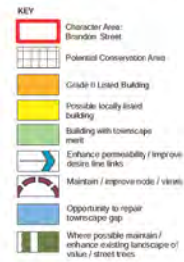
6. Brandon Street

Accommodating Change

- 7.73 The Brandon Street character area exhibits a number of positive characteristics which should be reinforced through the process of managing change. These are:
- The historic street pattern which is both legible and permeable
 - The major heritage assets (e.g. potential Larcom Street Conservation Area, Peabody Estate (potential for local listing) and the Catholic Church religious and educational buildings, grade II listed) have group value which contributes greatly to the character of the area. Care will need to be exercised to avoid diluting this value through incremental change
- 7.74 While the heritage assets and buildings of townscape merit cover much of the area, there remain areas of negative character which will need to be addressed. These are:
- The failure of the Rodney Road/Orb Street node as an urban space and as a location form which views to the wider Opportunity Area and central London are obtained
 - The poor edge definition of Nursery Row Park
 - The car park “gap” sites
 - The contribution of b and c above to making a poor setting for the potential Larcom conservation area.
- 7.75 The principles for change should therefore be focused on the quality and definition of the landscaped open space at Nursery Row Park and the development of the main opportunity sites to its north, based on the development guidance set out below.



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Character Area Management Plan 6



Wadding Street/Stead Street: this important node can be improved



Brandon Street: the historic street pattern should be maintained



Wadding Street/Stead Street car parks: these sites should be developed

7.76 Fig. 64 shows the location of the opportunity sites. These are:

- 25. Manchester House, East Street - demolition and redevelopment
- 26. Warehouse and surrounds (78-82 Brandon Street) - partial demolition and redevelopment (pub has already been demolished and is under construction)
- 27. Works and surrounds (90-92 Brandon Street) - partial demolition and potential redevelopment
- 28. Car parks on Wadding Street/Stead Street - new build

Land use

7.77 The established land use in the area - residential with schools, churches and pubs - should be maintained.

Open Space

7.78 When opportunities arise, the Council should seek to provide a stronger sense of enclosure to the Nursery Row Park open space (potentially on its northern side). Ongoing management should seek to maintain the park and build on the recent investment.

Specific Building Design Principles

7.79 The potential Larcom Street Conservation Area to the north-west of the Brandon Street character area is a fine grained area of existing buildings the majority of which have been identified in this study as buildings with townscape merit. This character would be harmfully eroded by selective demolition and redevelopment. The existing built form should be protected. Development within its setting will also need to consider its impact on the significance of the conservation area.

7.80 Building design principles relevant to the remainder of the character area are:

- 1 **Layout:** New development should not repeat the set backs characteristic of the later LCC developments at Orb Street and Brandon Street. Generally buildings should be aligned with the back edge of the pavement or to address appropriate areas of defensible space. A finer grain of development (that assists with legibility and permeability) should be introduced. On larger plots, the layout of development should encourage permeability and the creation of attractive open spaces which will be well used and have a clear functional relationship to the surrounding townscape. New buildings should address the streets and include animated active frontages. Defensible space should be provided which has a clear landscape or functional purpose.
- 2 **Height:** New development should relate to the surrounding context.
- 3 **Massing and Form:** Where residential development is introduced either individual buildings with small footprints (town-house type) or larger residential blocks, the frontages of which are rhythmically broken down to reduce the apparent massing, would be appropriate (Peabody Buildings and East Street set a precedent for this approach).
- 4 **Detailed Design:** Whilst the buildings in the area are varied, new development

should complement the existing variety and draw on the characteristics of the high quality buildings within the area - the listed buildings, potential locally listed buildings and buildings of townscape merit. Drawing on the palette of existing materials - red and yellow brick - is encouraged.

Movement

7.81 There is limited scope to introduce significant alterations to the movement network. Ease of movement can be improved by following the building design principles set out above and the introduction of high quality public realm with a consistent approach to the use of materials and soft landscaping. An opportunity exists for pedestrian and cycle links along an extended Brandon Street route to reconnect it with Heygate Street. A further opportunity exists to extend Wansey Street to Brandon Street / Rodney Road.

Views

7.82 There is significant potential to enhance views within the character area through redevelopment of the opportunity sites and enhancement to the edges of the Nursery Row Park and through the development of an urban space of civic significance at the Orb Street junction. Consideration will need to be given to the conservation of the setting of the grade II listed St. Margaret Church, outside the Opportunity Area.

7. Walworth Road

Accommodating Change

7.83 The Walworth Road character area exhibits a number of positive attributes, albeit these are obscured to an extent by negative characteristics:

- a The street has a consistent feel in terms of the placement of buildings and their heights
- b The subtle sinuosity of the road adds to the urban design quality of the street. It reveals itself in views travelling north and enhances the sense of arrival at the Central Area gateway
- c Walworth Road contains good examples of the various periods of development including Georgian, Victorian and Edwardian terraces
- d The road is a lively shopping street and, perhaps surprisingly, sustains active frontages along a considerable extent
- e Most of the frontage buildings have been identified as either heritage assets or buildings of townscape merit
- f There are attractive views to the east and west into conservation areas, including the axial view to St Peter's Church (grade I listed) along Liverpool Grove.

7.84 There are also significant negative elements along Walworth Road. These are:

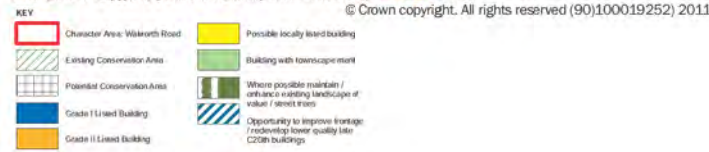
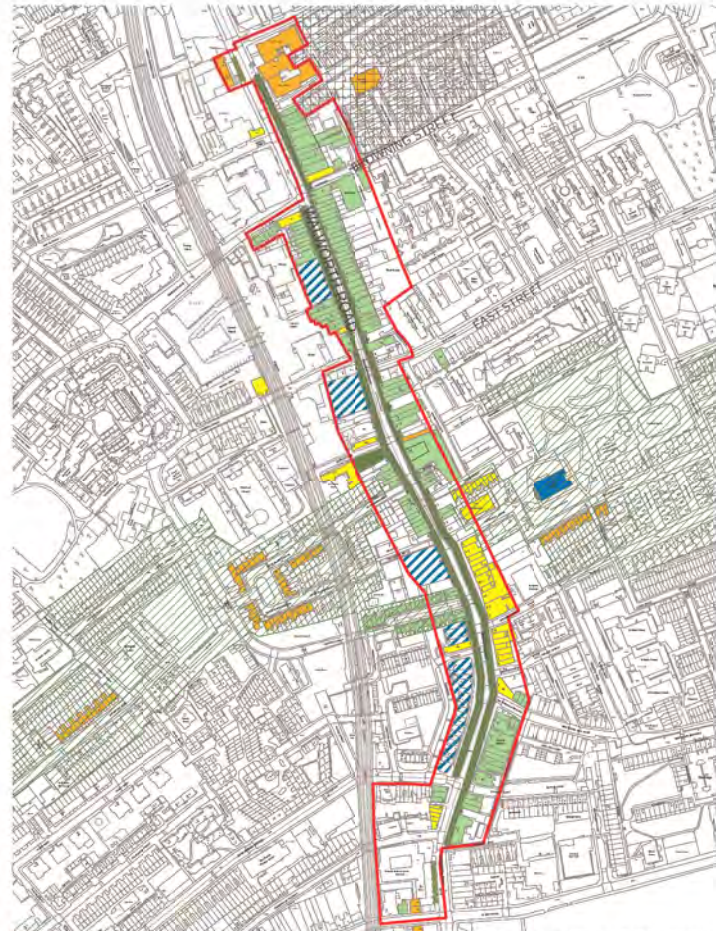
- a The poor quality of some post war infill developments
- b The effects of traffic on noise and air quality and hence on the pedestrian environment
- c The lack of open spaces along the route to create relief from traffic and general activity

- d In some case the very poor quality shopfronts which are either in poor condition or inappropriately detailed or display both deficiencies.

7.85 The main principles for change are therefore to:

- a Reinforce the existing character of the street through high quality development of similar scale and layout to the successful historic built form
- b Take measures to improve the environmental quality of the street through enhanced treatment of the streetscape, recognising that other factors (transport policy and technology) will have a role in the character of the area
- c Take a systematic approach to improving the quality of shopfronts and the general condition of the built environment – this should be an incremental process achieved through development management
- d Encourage redevelopment of appropriate sites and explore the scope for improved urban space along the Walworth Road.
- e Softening the landscape by providing trees/street furniture/small areas of public space to provide respite and enhance the improvements already made

7.86 In terms of Opportunity Sites, some of the lower quality late 20th Century developments may be suitable for redevelopment. However, the generally consistent townscape (building alignments, heights and buildings of townscape merit) should inform appropriate proposals. Improvements to identified heritage assets and buildings of townscape merit should be a priority.



Historic photograph of Carter Place (early 20th century)



Carter Place today: there is an opportunity to reinstate this historic open space



East side of Walworth Road: quality and cohesiveness of shop fronts should be addressed

7.87 Additionally, as noted, some opportunities exist for infill development and replacement of shopfronts, encouraging a gradual improvement in the townscape quality of the area. This process should be encouraged by the Council in the proposed SPD.

7.88 Fig. 72 shows the location of the opportunity sites. These are:

- 29. Nos. 264-276 (evens) Walworth Road (Somerfield) - demolition and redevelopment
- 30. Nos. 330-334 (evens) Walworth Road (Fitness First) - demolition and redevelopment
- 31. Nos. 362-368 (evens) Walworth Road - demolition and redevelopment
- 32. Gateway - demolition and redevelopment

Land uses

7.89 The existing, predominantly retail/commercial/service land uses at ground level with ancillary uses or residential uses above should be maintained.

Open Space

7.90 Open space to the front of the Old Station house should be reinstated to restore its historic setting and provide relief to the otherwise urban character of the area. The original nature of this space should be researched as a basis for developing ideas for re-instatement (see historic photograph on previous page).

Specific Building Design Principles

7.91 In addition to the general building design principles the following detailed principles should be adopted:

- 1 **Layout:** The well-established building lines (set backs to the northern end and back edge of pavement development towards the southern end) should be the starting point for new development proposals.
- 2 **Height:** New development should respond to the buildings heights of adjacent buildings. These will be between two and four storeys.
- 3 **Massing and Form:** New buildings should respect the scale, mass and form of neighbouring buildings. Where buildings of larger footprints are to be redeveloped their replacements should achieve a satisfactory visual relationship with their neighbours in the street frontage. Long frontages should be broken down into repeated bays to maintain the historic verticality of the street frontage. The relationship of floor levels to the ground should be consistent with neighbouring buildings.
- 4 **Detailed Design:** The established palette of materials (brick, render and slate) should provide a cue for the finish of new buildings. The upper level window patterns should complement the surrounding pattern of generally vertically proportioned meetings.
- 5 **Shopfronts:** The Council should encourage shopfront improvements and seek to achieve consistency and quality in signage, lighting, awnings and canopies. It should encourage internal security grills rather than external roller shutters and aim to minimise street clutter.

Movement

7.92 Public realm improvements should be implemented following the adoption of the Southwark Streetscape Design Manual (Consultation Document) and will significantly improve the environment for both cyclists and pedestrians easing movement through the area. Improvement in public transport provision in the wider Opportunity Area should also serve to reduce the volume of traffic along Walworth Road.

Views

7.93 Development proposals should carefully consider 'shoulder buildings' on the Walworth Road frontage that frame views along side streets and the retention of the view towards the grade I listed St Paul's Cathedral (outside the Opportunity Area boundary) from the south.

8. Pullens

Accommodating Change

7.94 The Pullen's positive character is largely derived from its heritage assets:

- a The conservation area and the Pullen's tenement buildings
- b The distinctive Hampton Court Palace pub, which is a vestige of Victorian development (potential for local listing)
- c The vista south along Crampton Street to the former Manor Place public baths (grade II listed)
- d The mature street trees on (e.g.) Iliffe Street and Newington Butts
- e The workshop building and cobbled streetscape at Iliffe Yard
- f The Newington Estate "green corridor" (Canterbury Place), albeit this feels in part to be leftover land

7.95 Much of the negative character derives from the large post war housing developments:

- a The Newington Estate lacks local distinctiveness and lacks legibility
- b The spaces within the estate can seem like random spaces rather than planned areas of landscaping or urban space based around a hierarchy of movement

7.96 In the absence of major redevelopment opportunities, the principles of change should be based on selective improvements to the public realm, including public spaces within the Newington Estate.

7.97 As this is an established residential area, very limited change is anticipated. Whilst no specific opportunity sites have been identified, should any development proposals be brought forward the Council should use the following principles to guide development within the area.

Land Use

- 7.98 There are no obvious opportunities for change within the area given the well-established residential nature of the area. The land use character should remain as existing.

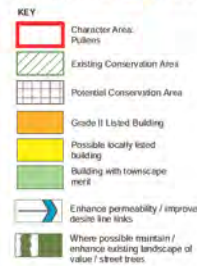
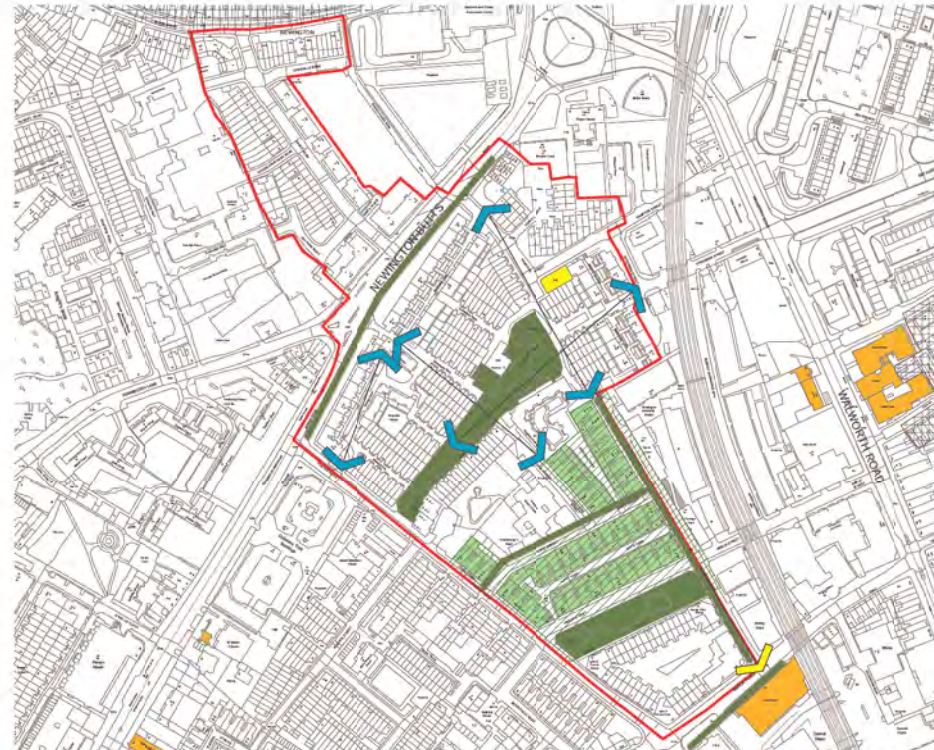
Open Space

- 7.99 The existing area of open space - Pullens Gardens, Amelia Street - should be maintained and, where possible, enhanced through ongoing management.

Specific Building Design Principles

- 7.100 In addition to the general building design principles the following detailed principles will be adopted:

- Layout:** Where small-scale, windfall sites are proposed for development, the layout of these areas should be considered in light of their immediate context. On larger plots, the layout of development should encourage permeability and the creation of attractive open spaces which will be well used and have a clear functional relationship to the surrounding townscape. New buildings should address the streets and include animated active frontages. Defensible space should be provided which has a clear landscape or functional purpose.
- Height:** Generally development between two and four residential storeys should be considered appropriate; this would be dependant on the size and location of the site, the heights of adjacent buildings and the detailed design of the proposals.
- Massing and Form:** Small scale development that reinstates the finer grain of development characteristic of the Pullen's tenements to the south of the area will be encouraged.



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Character Area Management Plan 8



Iliffe Street: the character and appearance of the Pullens Conservation Area should be preserved and enhanced



Canterbury Place, Newington Estate: this 'green corridor' should be improved where possible



Hampton Street: the Hampton Court Palace should be retained as a local focal point

- 4 **Detailed Design:** Development that complements the historic Pullen's tenement buildings in terms of the treatment of elevations and rooflines and the pattern of window and door openings would be appropriate. The Council should encourage the use of brick (generally yellow) in development proposals.

Movement

- 7.101 Development that reinstates the street pattern and improves the definition of defensible space will be sought to improve legibility and permeability within the area. The Council should seek to deliver a cohesive public realm strategy that includes way-finding improvements (signage, changes to paving etc.) to encourage pedestrian legibility.

Views

- 7.102 The Hampton Court Palace Public House (potential for local listing) should be retained as a local focal point in the townscape. The view to the former Manor Place public baths (grade II listed) should be maintained and enhanced. Any development in the surrounding area should consider the potential impact on the heritage asset and its setting.

9. West Square

Accommodating Change

- 7.103 The positive aspects of character in West Square are numerous. The principal features to protect and enhance are:

- The land use mix of residential and community/cultural sites (schools, churches and the Imperial War Museum)
- The cohesive townscape, principally based on its street pattern and consistency in scale and layout, including its legible and human scale
- Mature street trees
- The nationally important Imperial War Museum and its parkland setting
- The attractive setting for the character area, formed in part by the conservation areas in Lambeth to the south (Walcot Square) and St George's Circus to the north.

- 7.104 The area contains some negative characteristics:

- The Bakerloo depot, which forms a barrier to movement and a "dead" urban block
- Prospect House, an 11 storey 1960s residential slab block, set in its own grounds that contrasts in scale, materials and layout to surrounding 19th Century townscape

- 7.105 Principles for change will therefore largely be based around conserving and enhancing existing character while addressing some opportunity sites.

- 7.106 This is an area of significant heritage value (predominantly covered by existing or proposed conservation area designations) where detailed conservation area statements and management plans have been prepared. Very limited change can be accommodated.



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Character Area Management Plan 9

7.107 In order to address the negative characteristics identified above, a potential opportunity site has been identified over the London Underground depot. Given the constraints associated with this site any consideration of development of this site should be done so in consultation with Transport for London.

7.108 In addition, Prospect House may at some point come forward for development (identified as a housing site in the Elephant and Castle 2004 SPG). The constraints of this site - to the rear of established frontage development - would require an appropriate design response to be carefully established. Update mapping to reflect this.

7.109 Fig. 88 shows the location of the opportunity sites. These are:

- 33. Air rights over London Underground Depot - new build
- 34. Flaxman House, 17-21 London Road - demolition and redevelopment

Land Use

7.110 The well established structure and townscape of the area limits the opportunities for any substantial change within the area. The existing (West Square) and future (Elliot Row) conservation area designation covering the majority of the area provides extensive protection. As noted above management guidelines are to be prepared to manage change within the conservation area.

Open Space

7.111 The areas of open space - West Square and Geraldine Mary Harmsworth Park surrounding the Imperial War Museum - fall within the conservation area and are already well-managed spaces. The 'left over' land at the corner of St George's Road and Elliotts Row and the allotments at Lamias Street now provide some softening of the urban environment through the mature trees and should be protected.

Specific Building Design Principles

7.112 The design of new development will depend on the development sites to come forward and their context, consideration will be given to the following:

- 1 **Layout:** Where small-scale, windfall sites are proposed for development, the layout of these areas will be considered in light of their immediate context.
- 2 **Height:** Generally development between two and four residential storeys would be considered appropriate; this would be dependant on the size and location of the site, the heights of adjacent buildings and the detailed design of the proposals.
- 3 **Massing and Form:** Small scale development that complements the fine grain of the rest of the character area is appropriate.
- 4 **Detailed Design:** Development that complements the historic 19th Century buildings in terms of the treatment of elevations and rooflines and the pattern of window and door openings would be appropriate. The Council should encourage the use of brick (generally yellow) in development proposals.

Movement

7.113 If opportunities come forward (e.g. Prospect House) the Council should seek development which reinforces the good legibility and permeability of the area set by the historic street pattern.

Views

7.114 The Council should give consideration to the impact of new development within the views to the surrounding London landmarks and heritage assets and their settings. This may be particularly relevant for new buildings that are proposed fronting St. George's Road or Lambeth Road.



West Square: the character and appearance of the West Square Conservation Area should be preserved and enhanced



Lambeth Road: there may be an opportunity to develop over the London Underground Depot

Appendix 1: Heritage Audit

1. Central Area

Conservation Area Designation

- 1.1 There are no conservation areas within the Central Area.

Archaeological Priority Zone

- 1.2 A central, linear section of the Central Area falls within the Elephant and Castle/ Kennington Park Road APZ (Fig. 15). This APZ follows the likely route of Stane Street, the Roman road from London to Chichester.

Listed Buildings

- 1.3 Table 1 provides a list and brief description of all statutorily listed buildings within the character area.

Proposed Locally Listed Buildings

- 1.4 Table 2 provides a list and brief description of all buildings with the potential of local listing within the character area.

Buildings of Townscape Merit

- 1.5 The following buildings have been identified as buildings of townscape merit:

- 1 Draper House, Elephant and Castle

Table 1 - Listed Buildings

Location	Grade	Description
Michael Faraday Memorial	II	Transformer station for London Transport and memorial to physicist and chemist Michael Faraday. Designed by Robert Gordon in 1959, the rectangular structure is clad in square stainless steel dished panels and supported on four black-painted steel structural supports. An early British example of the use of stainless steel as a cladding skin. Listed Building No 1385511
The Metropolitan Tabernacle	II	Two storey, 11 bay Baptist church with offices behind by WW Pocock. Built for popular preacher CH Spurgeon, it dates to 1859-61. Following fire damage, the façade was rebuilt by Searle and Hayes in 1898. It features a giant hexastyle Corinthian portico with pediment and coffered ceiling, raised to street on a rusticated stone plinth with decorated entablature and inscribed frieze. Behind the façade, for which it is listed, is a modern building of c.1959, a rebuilding necessitated by war damage. Listed Building No 1385730

Table 2 - Locally Listed Buildings

Location	Description
Nos. 70, 72, Elephant & Castle LUT Station, South London House	Two 5-storey facades at an oblique angle, with ground and first floors faced with the oxblood faience characteristic of its architect, Leslie Green. Semi-circular first floor window openings and raised, gilded lettering to the frieze. Edwardian Baroque styling to upper floors featuring red brick with stone dressings. Opened in 1906 following the southern extension of the Baker Street and Waterloo Railway. LL34-24;15/02/2010.
Metro Central Heights, Newington Causeway, SE1	1962-67 designed by Ernő Goldfinger. Originally offices, converted to residential use in the late C20th. Formerly "Alexander Fleming House". C20. LL12-4; 06/05/2009.

Views

- 1.6 Table 3 and photos 1-5 exemplify the views within the character area.

Tree Preservation Orders

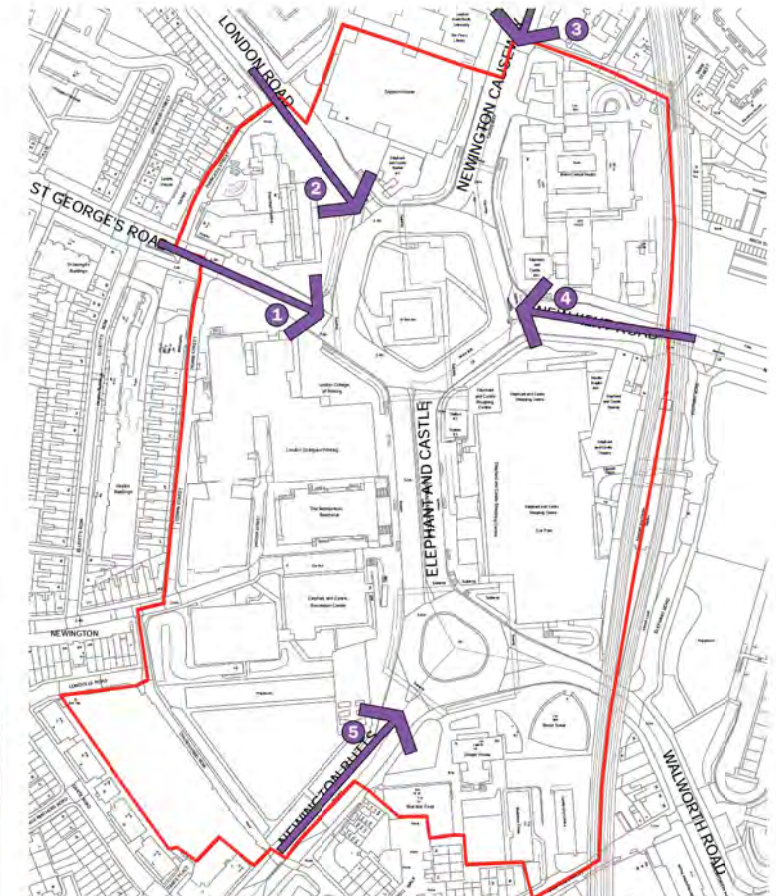
- 1.7 There are no TPOs within the character area.

Table 3 - Views

View Description / Photo No	Type
1. View south-east along St. George's Road to Central Area tall buildings	Orientation view
2. View south-east along London Road to Central Area tall buildings	Orientation view
3. View south along Newington Causeway to Central Area tall buildings	Orientation view
4. View west along New Kent Road to Central Area tall buildings	Orientation view
5. View north-east along Newington Causeway to Central Area tall buildings	Orientation view



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Plan showing location of views

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2. Heygate Street

Conservation Areas

- 2.1 There are no conservation areas within the Heygate Street character area.

Archaeological Priority Zone

- 2.2 There are no APZ's within this character area.

Listed Buildings

- 2.3 Table 4 provides a list and brief description of all statutorily listed buildings within the character area.

Proposed Locally Listed Buildings

- 2.4 Table 5 provides a list and brief description of all buildings with the potential of local listing within the character area.

Buildings of Townscape Merit

- 2.5 The following buildings have been identified as buildings of townscape merit:

- 1 118, 120, 122, 124 and 126 New Kent Road
- 2 5a Elba Place

Views

- 2.6 Table 6 and photos 1-2 exemplify the views within the character area.

Tree Preservation Orders

- 2.7 There are no TPOs within the character area.

Table 4 - Listed Buildings

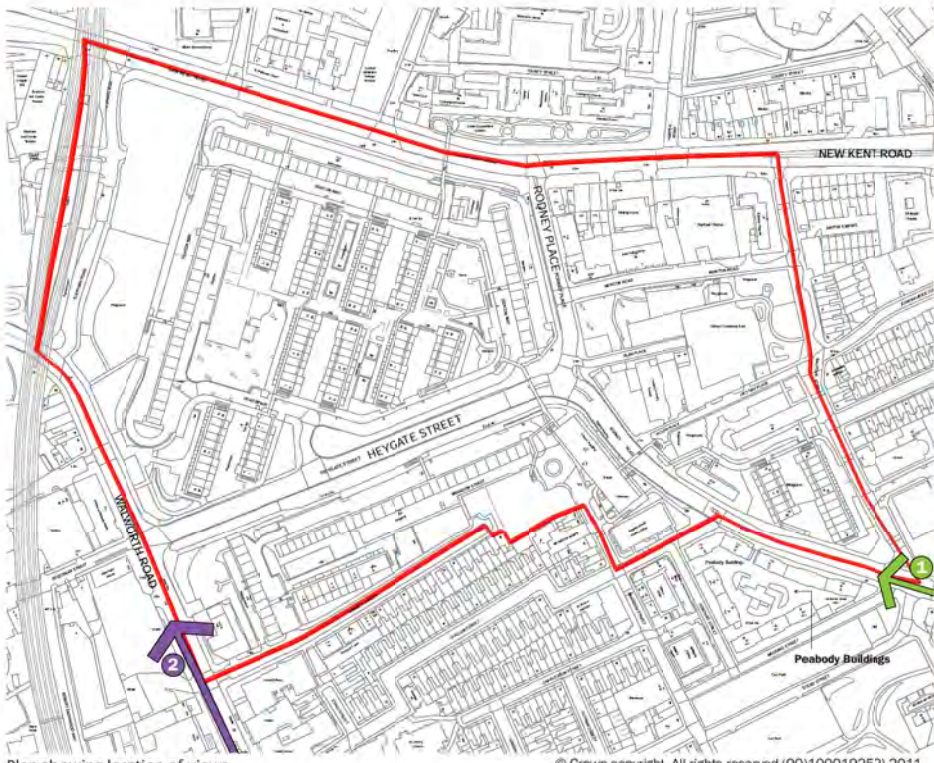
Location	Grade	Description
Elephant House, 4 Victory Place	II	Three-storey, three-bay house c.1840, originally chambers for single men, now three flats. Painted stock brick with slate roof, end chimney gables with kneelers corbelled out on front elevation which has stepped brick cornice. Door in plain reveal to centre bay; cambered brick arches to all openings; sash windows with delicate glazing bars and casements on first- and second-floor centre bay. Listed Building No 1386023

Table 5 - Locally Listed Buildings

Location	Description
No. 116 New Kent Road SE1, The Crown & Anchor public house	Mid / later C19th 3-storey street corner pub of grey brick with red brick arches to window openings. 3 bays to New Kent Road, a rounded corner and 4 bays to Rooney Place. Pub front features pilasters, fascia and cornice; grey brick upper floors include stucco quoins, frieze, bracketed cornice and parapet. LL37-3; 12/04/2010.
Victory Primary School and School House	School and School House enclosed by a solid brick wall. School is an inter-war neo-georgian style. Three storey yellow brick building with limestone quoining and a hipped, tiled roof and overhanging eaves. Large vertically proportioned windows with paired lower four-over-four sashes and fixed four light sashes above. Contrasting brick and stone detailing. bracketed eaves. School house is late C19th, three storeys mainly in London stock brick with roughcast render to gables. Steep pitched, gabled and dormered tiled roof and tall red brick chimney stacks. Contrasting red brick detailing. Windows reduce in size on consecutive floors.

Table 6 - Views

View Description / Photo No	Type
1. From Rodney Road (just outside the character area) looking north-east. Looking across a junction towards the Peabody Buildings (with potential for local listing)	View to historic building
2. North along Walworth Road to Central Area tall buildings	Orientation view



Plan showing location of views

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3. Rail Corridor

Conservation Areas

- 3.1 There are no conservation areas within the Rail Corridor character area.

Archaeological Priority Zone

- 3.2 The southern-eastern part of the Rail Corridor, to the south of Manor Place and the east of the rail viaduct, falls within the Walworth Village APZ. This APZ covers the area that is considered to be the site of the Saxon and medieval village of Walworth (see Fig. 15).

Listed Buildings

- 3.3 Table 7 provides a list and brief description of all statutorily listed buildings within the character area.

Proposed Locally Listed Buildings

- 3.4 Table 8 provides a list and brief description of all buildings with the potential of local listing within the character area.

Buildings of Townscape Merit

- 3.5 The following buildings have been identified as buildings of townscape merit:

- 1 Printworks, Robert Dashwood Way
- 2 86-96 (evens), Walworth Road
- 3 17-21 Manor Place
- 4 O Central, Crampton Street

Views

- 3.6 Table 9 and photos 1 and 2 exemplify the views within the character area.

Tree Preservation Orders

- 3.7 There are no TPOs within the character area.

Table 7 - Listed Buildings

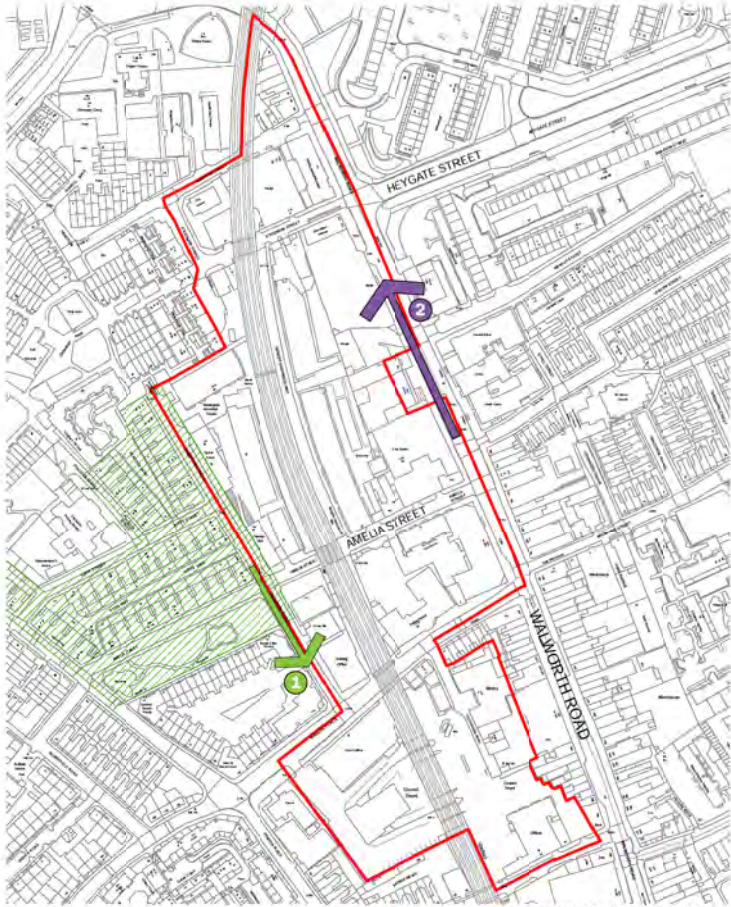
Location	Grade	Description
140-142 Walworth Road	II	Listed as a group with 148-152 Walworth Road. Seven houses dating to 1793-1799 by Francis Hurlblatt, altered in 1978, now remodelled as a unified composition. Yellow stock brick and stucco dressings with slate mansard with dormers. Pediment to left section added in 1978. Three-storeys plus attic and raised basement. Nos 140-142 were the former centre to the terrace and feature three bays each under pediment and wide flight of steps up to C20 portico with altered wide C20 doorway. Listed Building No 471447
Manor Place Baths and Attached Wall, Piers and Railings	II	Now storage depot and offices. Dated 1895, by EB l'Anson and Balaam Brothers builders, of brick in Flemish bond with terracotta dressings. Central block of offices is three storeys with side wings of two storeys and high hipped slate roofs. Asymmetrically composed from a variety of Arts and Crafts and Flemish Renaissance elements. Behind this is the very large bathing hall with gabled roofs and glazed light monitor on ridge axis. Gable ends pierced by wheel windows with coloured glass in Parish arms pattern. Exceptionally broad span and length. Clock tower. Listed Building No 1385689

Table 8 - Locally Listed Buildings

Location	Description
Nos. 176, 178, The Tankard public house, Walworth Road, SE17	Earlier C20 streetcorner pub with half timbered fronts to Walworth Road and Amelia Street. Hipped, tiled roof with hipped dormers and a pair of prominent Tudor chimney stacks. LL33-10; 12/02/2010.

Table 9 - Views

View Description / Photo No	Type
1. South along Crampton Street towards the former Manor Place Baths (grade II listed)	View to historic building
2. North along Walworth Road to Central Area tall buildings	Orientation View



Plan showing location of views © Crown copyright. All rights reserved (90)100019252) 2011



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4. Enterprise Quarter

Conservation Areas

- 4.1 The St George's Circus Conservation Area falls within the character area. The St. George's Circus Conservation Area Appraisal (2005) provides a detailed understanding of the character and appearance of the conservation area.

Archaeological Priority Zone

- 4.2 The eastern part of the character area, to the east of Southwark Bridge Road, falls within the Borough/Bermondsey/Riverside APZ (Fig. 15). This APZ, stretching northwards to the river Thames, incorporates the Roman and Medieval settlement of Bankside, Bermondsey and Rotherhithe.

Listed Buildings

- 4.3 Table 10 provides a list and brief description of all statutorily listed buildings within the character area.

Proposed Locally Listed Buildings

- 4.4 Table 11 provides a list and brief description of all buildings with the potential of local listing within the character area.

Buildings of Townscape Merit

- 4.5 The following buildings have been identified as buildings of townscape merit:
- 1 H10 Hotel, Waterloo Road
 - 2 119-122 (consec.) London Road
 - 3 Building on corner of Thomas Doyle Street and Rotary Street
 - 5 38 Newington Causeway

Table 10 - Listed Buildings

Location	Grade	Description
Inner London Sessions Court, Newington Causeway	II	Site of a court since 1791. County of London Sessions Court 1914-1921 by WE Riley. Originally the main block flanked by 2 wings formed an architectural approach from the Causeway, but demolished c1923 to make way for ventilation shaft. The centre block remains as Riley designed except that the central courtroom was cleared to make access for the new courts in 1958. Brick structure faced with Portland stone and roofed with grey Westmorland slate. U shaped plan. Rusticated ground floor, round-arched and heavily keyed entrance under broad pediment; first floor treated as a 'piano nobile'; windows set under cornices or segmental pediments; quoins; carved panels by R Bentley Cloughton, 1956. Brick and reinforced concrete extension of 1954-58. Extension to south-east by Hugh Bennett and Edward Sheppard. Many grand interiors. Listed Building No 1385732
St George the Martyr Library, 12 Borough Road	II	Library 1897-1899 by CJ Phipps and Arthur Blomfield Jackson. Two storeys, red brick and terracotta with a pitched, tiled roof. Art Nouveau style, rectangular plan. Double-height central porch, the upper part clad in terracotta with a relief of St George slaying the dragon contained within the shaped gable. Large two-light, trefoil-headed and traceried window surmounts another elaborately modelled terracotta plaque. Plastered ground floor, terminated by corner buttresses ornamented by blind tracery above the eaves. Listed Building No 1378371
109-112 Borough Road	II	Presbyterian chapel of 1846, later part of adjacent printing-press works (demolished). Stucco fronted. Tall panelled parapet behind 2-storey front of 3 bays. 4 giant Doric pilasters rise from plinth to entablature with triglyph frieze and cornice, pediment over wider central bay. Banded rustication to central section with 2-storey round-headed recess with heavy keystone containing door with architrave and console bracketed, break-front pediment; lunette above. Listed Building No 1378375
113-119 Borough Road	II	Three-storey terrace of houses and shops c.1820-6 thought to be designed by William Mountague, Surveyor to the City of London. Gault brick with parapeted roofs and brick stacks. Arcade at first floor. Some sashes remain. Left end to Rotary Street has a 3-window range of blank windows with Portland stone cills, above boarded ground floor. Forms a significant group with the adjacent Duke of Clarence Public House and the other heritage assets within its setting. Listed Building No 1389680
Obelisk at the centre of St. George's Circus	II*	Stone obelisk dated 1771 by Robert Mylne. This was erected in 1771 in the centre of St George's Circus as part of the grand planning scheme designed by Mylne for Blackfriars Bridge Road. It provided the focal point (and signpost) for the radiating roads leading to various parts of the city from the entrance from the south. In c1897 it was removed to make way for a Victoria Diamond Jubilee clock-tower and was re-erected in the Geraldine Mary Harmsworth Park on Lambeth Road. In 1998 it was re-erected in its original position.
Duke of Clarence Public House 132 London Road	II	Public house, c1820. General design almost certainly by William Mountague. Four storeys, brick with painted stucco dressings and parapeted roof with brick stacks. Canted plan with concave 4-window front to St. George's Circus, a single-window front to Borough Road and a 3-window front to London Road. To ground floor a continuous late C19 pub front with Corinthian pilasters and entablature, moulded window frames and panelled doors. Forms a significant group with the other adjoining and nearby heritage assets. Listed Building No 1389679
123-131 London Road	II	Terrace of houses and shops c.1821-7 attributed to William Mountague. Stuccoed to Nos.126-8, otherwise painted. Parapeted roofs although No.130 has a slate mansard. Brick part-wall stacks. 3 storeys and basement, except No.130 which also has an attic, and No.131 which is of 4 storeys and basement. Each house a 2-window range with first floor arcade except to No.131. No.123 has built-out shopfront and wooden mullion and transom windows on both floors above. No.124 has shopfront with sashes above. Nos.126 and 128 have stucco quoins and large plaster number disks at 1st floor. No.132 has shopfront with sashes above and adjoins the Duke of Clarence Public House (No.132) to left. The terrace forms a significant group with nearby heritage assets.
2-14 London Road	II	Terrace of thirteen three-storey houses, now with shops to ground floors. C 1817-19, built to standard elevation pattern by William Mountague. Yellow gault brick, York stone window sills and coping to parapet, slate roofs. Each house has a two-bay front and early mansard storey with central window. Sash windows and original entrances largely replaced, modern shopfronts, although Nos 6 and 13 are probably Victorian survivals. Continuous arcade at first floor, tall window openings set within the recessed arches. Nos 2-4 retain a moulded cornice at parapet height. Lead plaques showing the ownership of the properties by the Bridge House Estate of the City Corporation remain in situ on nos 1-4, 8, 10-14, a reminder of a notable piece of Late Georgian town planning. Strong group value with the obelisk in St George's Circus and the matching terrace across the road. Listed Building No 1390856

Table 11 - Locally Listed Buildings

Location	Description
73-75 Newington Causeway	Mid C19th four storey stucco building, with parapet and concealed roof. Four bays wide, with six-over-six, recessed sashed windows. Stucco bracketed cornice detail and raised bands. Pedimented door surrounds over pilasters.
56-62 Newington Causeway	The Institute of Optometry. Three storey stucco and painted brick building of nine bays dating from the early to mid C19th. The end bay appears to be the earliest element. Two entrance doors. Stucco window surrounds some with swag detailing, some with keystones and some with recessed arches.
No. 82 Borough Road, SE1	Mid C19th former Baptist Chapel. 2 storey front in red brick with stucco dressings. Ground floor outer bays contain segmental arched windows flanking a pair of entrances with stucco doorcases featuring central 3-light window framed by pilasters supporting a pedimented entablature. 6 round arched windows to first floor. Balustraded parapets either side of a raised gable with central oculus. LL29-
No. 83 Borough Road, SE1	Late C19 / early C20. Former Institute for the Blind. Picturesque asymmetrical front in Scottish Baronial style in grey brick with stone dressings. Mullioned and transomed windows, gothic arched doorway, rounded turrets with cruciform arrow loops. LL29-19; 09/11/2009.
Diary House, South Bank University, 77-81 Borough Road	Formed of two buildings. No. 81 is the early C20th. Four and a half storeys with red brick and tile detailing and rendered plinth at ground floor and strongly expressed bracketed cornice below fourth level. Tiled window and door headers. Central decorative arch at roof level containing a relief of a coat of arms. Six dormer windows at roof level. No. 77 later, possibly inter-war. Five storeys (fifth storey appears to be a later extension) plus basement. Red brick with stone detailing. Five bays. Art deco style entrance door with two narrow window openings above. Adjacent four bays comprise consistent window types. Panels containing the lettering CL&C are located above the first floor windows. With three stone motifs above second floor windows.
231 Southwark Bridge Road	Early / mid C19th 3 storey house, 1 bay wide with the front door in a 1-storey bay to the left. Yellow stock brick with stucco 2nd floor cill band and first floor window set in round arched recess. The 2nd floor window is flanked by a pair of round arched niches. LL29-18; 09/11/2009.
233 Southwark Bridge Road	Early / mid C19th 4-storey house, 2 bays wide. Stuccoed ground floor with a round arched doorway on the left and a simple frieze and cornice. Upper floors are stock brick with the first floor windows set in round arched recesses. Plain, rebuilt parapet. LL29-17; 09/11/2009.
London South Bank University	Inter-war five storey neo-classical university building. Red brick building with stone detailing including stone facing at ground floor and stone cornice between third and fourth floors. Symmetrical façade with central, three storey high entrance flanked by Corinthian columns supporting a stone entablature. Arched ground floor windows. Two pedimented windows at first floor level. Key stones to windows at first and fourth floor levels. Tiled hipped roof with dormers is possibly a later extension.
Caxton House, Nos. 13 - 16 Borough Road	Early/mid C20th by E.J. Williams. Stripped Classical style, symmetrical 3-storey elevation to Borough Road, 5 bays wide. Red brick in English bond with some stucco dressings. 2-storey centrepiece with broad brick pilasters supporting a stucco entablature. All window openings have stucco keys. Centre second-floor window is round. Stucco main cornice with frieze and blocking course. LL13-2
5 Westminster Bridge Road	Early C20 four storey London stock brick building in Art Nouveau style with three storey high oriel windows in contrasting red brick. Four bays wide and stepped Dutch-style gables. Large arched window and door openings at ground floor level. The gables include a clock and an ocular window.

No. 1 London Road.	The Bakerloo Line's London Road Depot replaced the School for the Indigent Blind in 1901. 2 tall storeys lining through with the main cornice level of Nos. 2-14 London Road (consec. - listed grade II). Glazed red brick plinth, stock brick above, with red brick bands linking the segmental arches to the window openings and a moulded red brick band at 1st floor sill level. Red brick main cornice below a yellow brick pierced parapet. LL13-2
Nos. 15, 15A & 16A London Road	Early/mid C19 terrace of three 3-storey houses each 2 bays wide and with modern shop fronts on the ground floor. Yellow stock brick above. No. 16A retains segmental brick arches to the window openings. The others have flat headed windows with lintels. No. 16A has a sunk quadrant at the corner with Gladstone Street, facing which the elevation has a stucco Doric doorcase and a stucco main cornice above a now blank stucco advertising panel. LL13-4

Table 12 - Views

View Description / Photo No	Type
1. Views into/out of Opportunity Area along Newington Causeway	Gateway view
2. Views into/out of opportunity area along Blackfriars Road	Gateway view
3. Northwards along Southwark Bridge Road towards bridge (possible locally listed building)	View to historic structure
4. East and west along Southwark Bridge Road towards bridge (possible locally listed building)	View to historic structure
5. Planned views towards grade II* obelisk from radiating streets	View to historic structure
6. North out of Opportunity Area along Newington Causeway to St George the Martyrs Church (listed building)	View to surrounding landmark
7. South-east along London Road to Central Area tall buildings	Orientation view
8. South along Newington Causeway to Central Area tall buildings	Orientation view

Views

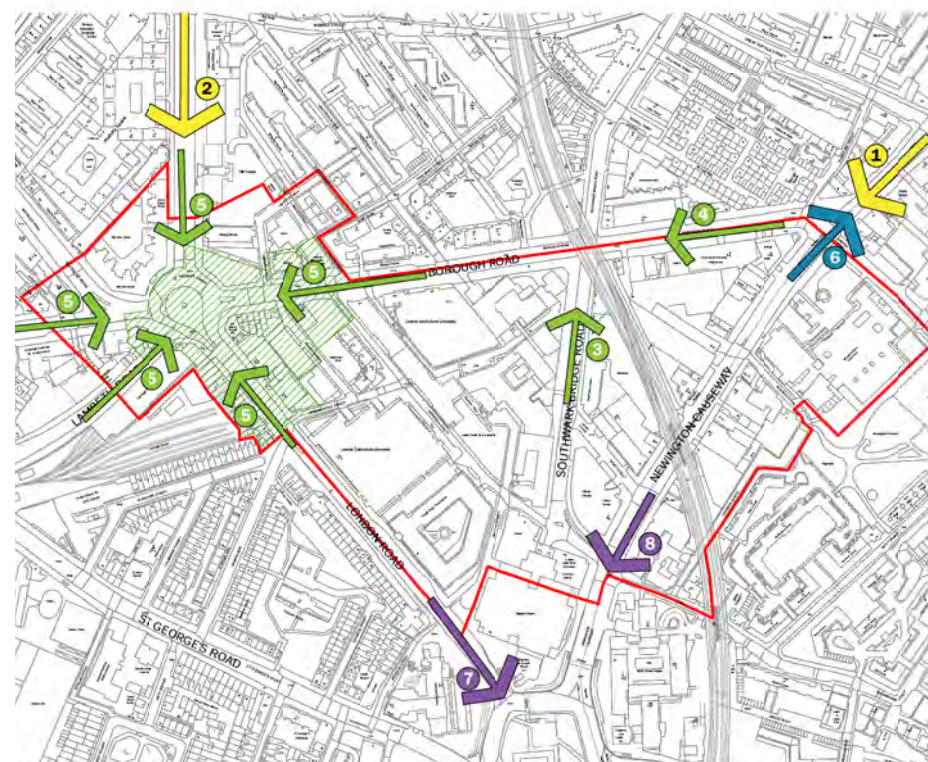
4.6 Table 12 and photos 1-8 exemplify the views within the character area.

Tree Preservation Orders

4.7 There are no TPOs within the character area.

4.8 Six weeks notice must be given to carry out any works to trees of a certain size within a conservation area.

4.9 For more information contact the Council's Urban Forester (020 7525 2090 or environment@southwark.gov.uk).



Plan showing location of views



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5. Rockingham

Conservation Areas

- 5.1 There are no conservation areas within the Rockingham character area.

Archaeological Priority Zone

- 5.2 The north-west section of the character area, to the north of Bath Terrace and incorporating Newington Gardens, falls within the Borough/Bermondsey/Riverside APZ (Fig. 15). This APZ, stretching northwards to the river Thames, incorporates the Roman and Medieval settlement of Bankside, Bermondsey and Rotherhithe.

Listed Buildings

- 5.3 Table 13 provides a list and brief description of all statutorily listed buildings within the character area.

Proposed Locally Listed Buildings

- 5.4 Table 14 provides a list and brief description of all buildings with the potential of local listing within the character area.

Buildings of Townscape Merit

- 5.5 The following buildings have been identified as buildings of townscape merit:

- 1 Public House, 29 Bath Terrace
- 2 Public House, 16 Harper Road
- 3 The Royal Standard Public House, Harper Road
- 4 Public House, 98 Harper Road

Views

- 5.6 Table 15 and photos 1-3 exemplify the views within the character area.

Tree Preservation Orders

- 5.7 There are no TPOs within the conservation area.

Table 13 - Listed Buildings

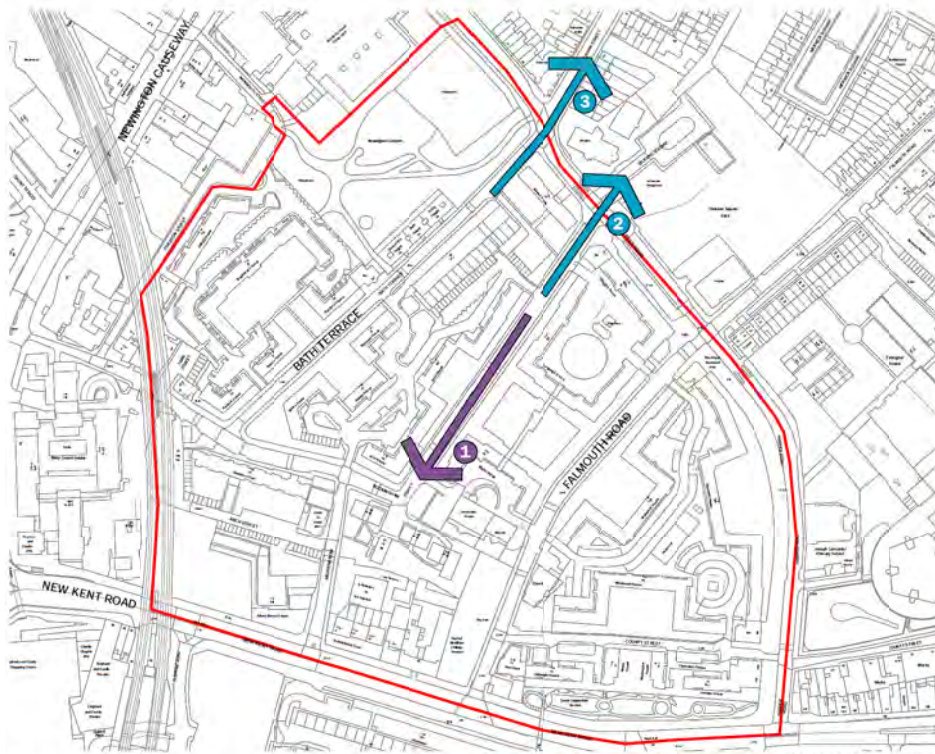
Location	Grade	Description
Star and Cross Church	II	Formerly Welsh Presbyterian Chapel, Falmouth Street. Presbyterian chapel dated 1888. English brick with rubbed brick and stone dressings; London stocks on right return and rear. Gable facing roofs of slate with metal-roofed cupola. T-shaped plan divided into 2 tiers. Tripartite entrance to ritual west (south), the projecting section topped by a broken pediment and flanked by lights; strip buttresses to ritual north elevation finishes in broad scroll brackets topped by pediments; plate tracery; Dutch gables; 3 bays to returns, each distinguished by buttresses. The combination of different features and materials are calculated to produce a most variable and picturesque composition. An early instance of the Queen Anne manner applied to a church or chapel. Listed Building No 1385523

Table 14 - Locally Listed Buildings

Location	Description
Devonshire House, Bath House and Trinity House, Bath Terrace	Five storey plus basement gault brick mid-Victorian tenements. Top storey rising above cornice may be a later addition. Arched, stucco window and door surrounds with string courses at ground to third floor levels. Red brick boundary wall and black metal railings to basement level, steps to principle entrances.
81 New Kent Road	Dating from the mid-Victorian period. Three storey plus basement, red brick building with a hipped slate roof and tall redbrick chimney stacks. Cantled bay window with stone surrounds, topped by a stone balustrade. Central first floor window is a three-light window with a decorative stone surround, other first floor windows have stone headers. Upper floor windows brick headers only. Gothic arched entrance door reached by steps flanked at upper levels by cinq foil stone windows. Front garden enclosed by black metal railings and red brick piers.
83 New Kent Road	Four storey (including large dormers in roof) red brick neo-classical building dating from the early C20th (No. 83). Ground floor faced in stone, with stone window surrounds and stone cornice at eaves level. Front garden enclosed by an engineered brick wall with stone piers and black metal railings.

Table 15 - Views

View Description / Photo No	Type
1. South along Rockingham Street to Strata Tower	Orientation view
2. North along Rockingham Street to the Shard	View to surrounding landmark
3. North along Bath Terrace out of the Opportunity Area to the Henry Wood Hall (grade II listed) within Trinity Church Square	View to surrounding landmark



Plan showing location of views

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6. Brandon Street

Conservation Areas

- 6.1 The potential Larcom Street Conservation Area lies within the character area. A characterisation appraisal for this area is underway.

Archaeological Priority Zone

- 6.2 A small section of the western end of Larcom Street (on its southern side only) falls within the Walworth Village APZ (Fig. 15). This APZ covers the area that is considered to be the site of the Saxon and medieval village of Walworth.

Listed Buildings

- 6.3 Table 16 provides a list and brief description of all statutorily listed buildings within the character area.

Proposed Locally Listed Buildings

- 6.4 Table 17 provides a list and brief description of all buildings with the potential of local listing within the character area.

Buildings of Townscape Merit

- 6.5 All buildings within the potential Larcom Street Conservation Area are considered to be buildings of townscape merit with the exception of - Garland Court, Wansey Street; 50 & 52 Wansey Street; and, Brandon Mews.
- 6.6 The following buildings have also been identified as buildings of townscape merit:
- 1 24 King and Queen Street, Public House
 - 2 31 The Newington Arms Lodge Public House, King and Queen Street
 - 3 Peabody Trust, Piton Place Estate, East Street
 - 4 100-114 (evens) Brandon Street
 - 5 19-25 (odds) Dean's Buildings
 - 6 153- 175 and 179-197 (odds) East Street (including 55 Dawes Street)

Table 16 - Listed Buildings

Location	Grade	Description
English Martyrs Primary School, Flint Street	II	School, 1904-5 by Leonard Stokes. Yellow brick with random blue headers, red brick window dressings; slate roof (replaced) with small fleche. Entrance in west elevation to Flint Street of 3 main bays beneath a broad gable with wider bipartite windows to central bay. South elevation has gauged, red brick arches to multi-pane sash windows with glazing bars and overlights. Faces Church of the English Martyrs, Rodney Road. Listed Building No 1385527
English Martyrs School (Part)	II	1875 by ER Robson for London School Board; extended to rear 1904-5. Three storeys, stock brick with red brick and terracotta detail; slate roof. Lavish cut brickwork decoration has an Artisan Mannerist quality. The earliest part of the building has an L-plan. First floor of Flint Street elevation has a ten-window range. Tall segmental-headed windows on the top floor, flanked by brick pilasters and triangular pediments. Pointed gables rise through parapets. On the main block, flat-arched sash windows alternate with pairs of segmental-arched windows to oriels which are triangular in plan. Dean Street elevation features an elaborate aedicule framing a stone plaque with a relief depicting 'Truth' and an 1875 datestone. Surprisingly bold and decorative for a board school of this date. Listed Building No 1385526
Roman Catholic Church of the English Martyrs, Rodney Road	II	Roman Catholic church, 1902-3 by FW Tasker. Altar and reredos by FG Broadbent & Partners, 1961; re-ordered 1980s. Yellow stock brick with random blue headers, red brick dressings and blue brick plinth; pitched slate roof with slender slated spirelet. Early English Gothic style. Asymmetrical rectangular of two-storeys with buttressed gable end with 3 tall lancets to west elevation, staircase turret to left. Gabled entrance to curved Lady Chapel extension with pointed arch and moulded red brick surround. Groups of 3 lancet windows in upper stage only to side elevations. Listed Building No 1385818
Presbytery to the Roman Catholic Church of the English Martyrs, 142 Rodney Road	II	Early c20th Presbytery of yellow stock brick with dark red brick dressings and slate roof. 3-storeys, basement and dormers to hipped roof with stacks to either side. 2-window range to front elevation, second floor with sash windows under segmental brick arches; large keystones over those to the first floor. Outer doorcase with 2 open overlights and a stone plaque with shaped gable bearing initials 'IHS'. Materials match the Church of the English Martyrs to which it is attached and with which it forms a group. Listed Building No 1385817
Church of St John the Evangelist, Larcom Street	II	Gothic Revival Anglican church of 1859-60 by Henry Jarvis. Vestry of 1912 by Greenaway and Newberry. Ragstone facing and roofs of slate. 5 lancets to east end with corner buttresses; aisles articulated by setback buttresses and lit by single lancets; roundels to clerestory dormers. Bar tracery of 4 lights to west end with roundel of unusual design to steeply pitched gable. West elevation is a most arresting design but views are restricted: 3 stages, with setback, corner buttresses rising through the 2nd; the top, bell stage articulated by blind Early English arcade; gable end of saddleback tower facing west and east. The entire design recalls the earlier works of Butterfield and particularly Henry Woodyer. Listed Building No 471048

Table 17 - Locally Listed Buildings

Location	Description
Peabody Buildings, Rodney Road	Late Victorian/early Edwardian mansion blocks (comprising blocks A-K). Perimeter development, with enclosed courtyard. Five storeys including mansard roof level with dormers. Ground floor predominantly faced in brown/grey brick. First to third storeys red brick, fourth storey painted roughcast, slate mansard roof. Bays are flat, canted or full height square bays topped with stone detailing, adding variety at roof level. Tall red brick chimney stacks. Six-over-six sashed windows and tiled porches. Front boundary formed of low red brick wall, topped with stone copings and black metal railings. Ornate, arched block entrances to internal courtyards. Single-storey pavilion within courtyard, with hipped tiled roof in glazed bricks.
Rose and Crown, Rodney Road	Rose and Crown (PH) on corner of Rodney Road/Wadding Street. This is a late Victorian three storey building, with large pub windows at ground floor. Paired sashed windows at first floor with nine-over-one lights and three uPVC windows at upper level. Canted corner containing pedimented entrance. Three distinctive chimney stacks, stepped with stone details.
School Buildings, Flint Street	Single-storey brick building on corner of Dean's Buildings and Flint Street with steep pitched, tiled roofs. In part late C19/early C20 in origin. Earlier element is one and a half storeys with gable containing square bay window at ground level and arched brick window surround at upper level. Tall stock brick chimneys with two pots. Northern section appears to be a sympathetic modern extension. Screened by high, solid stock brick boundary wall with red brick coping detail. To the south is an unusual gabled school building, dating from late C19/early C20. Four gable ends front Flint Street. Each gable contains a pair of tall windows with red brick surrounds comprising pilasters and topped by a red brick pediment. Smaller windows flank each side of the pilasters. The building has a curved parapet wall and a tiled roof.
Nos. 115-117, The Crown Public House, Brandon Street	2 storeys, 5 bays wide with ornate tiled ground floor with recessed corner entrance, tiled pilasters and elaborate fascia on south and east face (advertising Wenlock Ales and Wenlock Stout). Upper floors yellow stock brick with red brick arches and elaborate brick and plaster cornice.
No. 109, The Masons Arms public house, East Street SE17	Dated 1898. Richly decorated 3-storey pub faced with stock brick and terracotta, with timber pub front set forward with pilasters, fascia, cornice and cast iron cresting. The upper floors have a pair of full height, 3-window, terracotta canted bays and a balustraded parapet. LL24-18; 27/08/2009.
Robert Browning Primary School and associated buildings, East Street/King and Queen Street	Three storey Victorian school faced in London stock brick with red brick detailing such as window surrounds, cornerstones, pilasters and string coursing. Large windows. Upper floor windows have arched headers. Playground on roof. Solid stock brick boundary wall. School keeper's house comprises two storey pitched roof buildings of matching stock brick with red brick detailing. Roofs are tiled.

Views

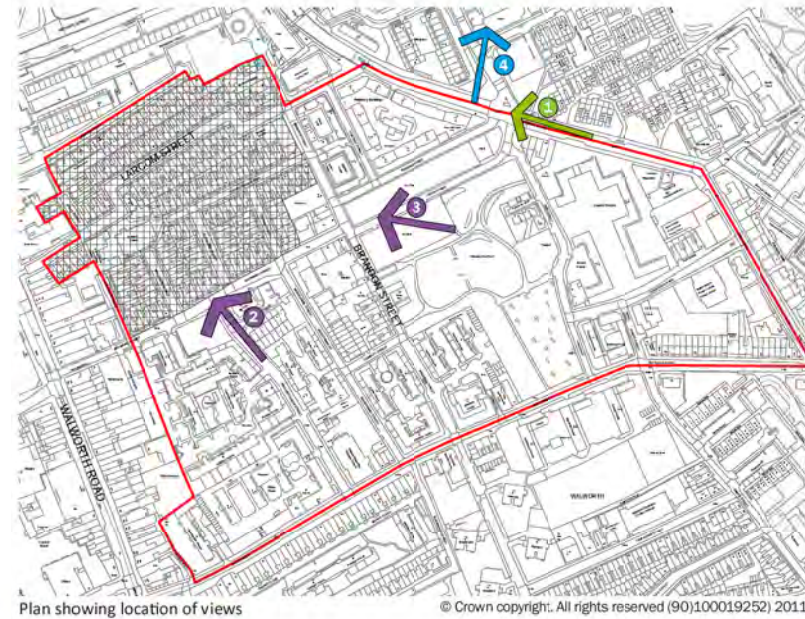
- 6.7 Table 18 and photos 1-4 exemplify the views within the character area.

Tree Preservation Orders

- 6.8 There are over 20 trees with TPOs within the character area. These are located within the park on the corner of Browning Street and Morecambe Street.
- 6.9 In addition, six weeks notice must be given to carry out any works to trees of a certain size within a conservation area.
- 6.10 For more information contact the Council's Urban Forester (020 7525 2090 or environment@southwark.gov.uk).

Table 18 - Views

View Description / Photo No	Type
1. From Rodney Road (just outside the character area) looking north-east. Looking across a junction towards the Peabody Buildings (with potential for local listing)	View to historic building
2. View north along King and Queen Street to the Strata Tower	Orientation view
3. View from Nursery Row Park, across car parks to Strata Tower	Orientation view
4. View from Rodney Road / Balfour Street junction to Lady Margaret Church (Grade II listed)	View to surrounding landmark



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7. Walworth Road

Conservation Areas

- 7.1 There are no conservation areas within the Walworth Road character area.

Archaeological Priority Zone

- 7.2 The section of the character area between Carter Place and Larcom Street falls within the Walworth Village APZ (Fig. 15). This APZ covers the area that is considered to be the site of the Saxon and medieval village of Walworth.

Listed Buildings

- 7.3 Table 19 provides a list and brief description of all statutorily listed buildings within the character area.

Proposed Locally Listed Buildings

- 7.4 Table 20 provides a list and brief description of all buildings with the potential of local listing within the character area.

Table 19 - Listed Buildings

Location	Grade	Description
140-152 Walworth Road	II	Listed as a group with 140-152 Walworth Road. Seven houses dating to 1793-1799 by Francis Hurlblatt, altered in 1978, now remodelled as a unified composition. Yellow stock brick and stucco dressings with slate mansard with dormers. Pediment to left section added in 1978. Three storeys plus attic and raised basement. Nos 140-142 were the former centre to the terrace and feature three bays each under pediment and wide flight of steps up to C20 portico with altered wide C20 doorway. Listed Building No 471447
Southwark Municipal Offices and attached Railings	II	Vestry hall, later town hall, now municipal offices. 1864-65. extended c1900. By Henry Jarvis. Brick in Flemish bond, white brick trim; stone dressings; mansard roofs of slate, those to end pavilions with fishscale tiles. Two storeys over basement with main elevation treated as a pavilioned block with a 9-window range. Symmetrical about a round-arched entrance set under a segmental-arched aedicule supported by a pair of coupled columns, to either side, double flat-arched lights set in round-arched recesses, the tympana carved with foliage and heads. Rich, naturalistic ornament. Range added in 1900 mixes motifs found in the earlier building with additions including arcaded attic storey and segmental-arched entrance. Listed Building No 471449
Southwark Central Library and Cumings Museum	II	Public library and museum, 1892-1893; museum 1902-1906. By architect Edward l'Anson; builder J Grover and Sons. Dutch Renaissance Revival style: red brick in Flemish bond with stone and terracotta dressings; roofs of slate. Library is four storeys over basement, stepping up to 5 in 5 over centre in scroll gable; 4-window range. Single-storey wing projecting from façade features round-arched openings, entrance under gabled aedicule on scroll brackets with inscription on entablature. 1st and 2nd floor windows to main elevation gathered together under 2-storey basket arches. Pilasters to 3rd floor. Dutch scroll gable pierced by a pair of flat-arched windows, set in a 3-bay Tuscan aedicule; small keyed roundel in the very peak of the gable. Cupola on axis with gable; to either side of gable are roundel dormers. Two plaques. The Library and former Vestry Hall, Walworth Road form an important group. Listed Building No 471448
Walworth Clinic 157-163, WALWORTH ROAD Also known as 9, LARCOM STREET Former Public Health Centre	II	Former Public Health Centre 1936-37 by Borough Engineer Percy Smart. One of a series of pioneering health centres built at the end of the 1930s bringing all the borough's health services under one roof. Moderne-style building of red brick with artificial stone dressings and a flat asphalt-covered roof. Three storeys; advancing single-storey section on Walworth Road elevation with central doorway bearing a quote from Cicero above. Inbuilt planters within artificial stone coping introduce greenery along the parapet. Set back upper storeys with windows in a recessed plane. Central bay has fluted artificial stone centrepiece with projecting, curved cornice bearing date-stone. Borough coat of arms. Brick parapet replaces an earlier artificial stone parapet, somewhat undermining original massing, and supporting a statuary group. Larcom Street return retains original double doors; semi-circular canopy; and stair tower with long, vertical window and a centrepiece of fluted artificial stone bearing the date 1937. Group value with neighbouring listed municipal buildings. Interior altered, although a number of features remain. Listed Building Ref 1393674
Kennedys Sausages 305 Walworth Road	II	Shop, c1923, one of the earliest branches to survive of Kennedys, a small chain of shops operating in South London for nearly 140 years. Minor later alterations. Single-storey building with timber shop front with grey granite stallriser, four transom lights of stained glass in an Art-Deco sunburst design and polished glass fascia with makers' mark reading 'W. Piggot Ltd (Brilliant Process)'. The recessed lobby, to the right of the display window, has a soffit with green tiles and a mirror above and a black and white tiled floor. The double doors to the shop have been replaced and what would have been a fifth sunburst transom light above them now contains modern glass. Survival of lettered display cabinets and shelves. Listed Building No 504805
62 and 64 Walworth Road	II	Pair of houses, 3-storeys and basement, 2 bays with 2 storey outer entrance bays. Part in use as car showroom, with single-storey front extension to accommodate this use. Early C19. Amber brick with stucco cornice and blocking course. Door to No.62 has attached 3/4 Tuscan columns supporting cornice head. Remaining ground-floor window round-headed in round-arched recess with stucco band at spring; 1st- and 2nd-floor sash windows with glazing bars have flat, gauged-brick arches. Listed Building No 470748

Table 20 - Locally Listed Buildings

Location	Description
195 Walworth Road	Four storey end of terrace building. Late Victorian/Edwardian. Shop built over front garden at ground level, with pedimented entrance door on canted corner. First and second storeys have central canted bay windows, third storey has three narrow window openings. Arched gable at roof level. Southern elevation also has canted bay windows with stone coping.
Nos. 204-6 Manor Place, SE17.	Former street corner pub. 3 storeys with 6 bays to Manor Place and a 4-bay return with a 1-bay rounded corner. Stuccoed pub front with pilasters, fascia and cornice. Red brick upper floors with moulded stucco architraves to the window openings and a stuccoed parapet. The 2 centre bays to Manor Place are set slightly forward and their 1st floor window architraves are pedimented. LL33-3; 12/02/2010
250 Walworth Road	Part of a later C19th terrace in stock brick with red brick Gothic arches to the windows and shops on the ground floors. Included for its good shop front, which is of painted timber with stall risers, pilasters, a glazed fascia with gilded lettering and a cornice. LL33-9; 12/02/2010.
290 Walworth Road	Single storey earlier C20 bank building in classical style. 2-bay front to Walworth Road with 8-bay return to Carter Place whose end bays are set forward. Red brick with stone bands and quoins, stone architraves to the Carter Place windows and a stone cornice and parapet. LL33-5; 12/02/2010
4-8 Cadiz Street	Mid C19 terrace of 11 2-storey houses, each 2 bays wide. Plain, parapeted fronts in stock brick with buff brick quoins to the door and window openings. Round arched doorways with plain fanlights; round arched ground floor windows. Flat, gauged brick arches to the 1st floor window openings. LL24-3
Malvern House, Liverpool Grove	Mid C19. Formerly the Sutherland Congregational Chapel. Subsequently a Picture Theatre. Now in residential use. Stucco, 3-bay temple front to the left-hand side with giant Roman Doric piers framing a pair of giant columns in antis. In the outer bays, between the piers, are round arched recesses. The side facing Liverpool Grove, faced with yellow stock brick, is 5 bays wide with 3-storey arched tiers of windows set in arched recesses. Slate roof. LL24-6
347-375 Walworth Road	Late C19/early C20 shopping parade. Date stones indicate 1906 and 1908. Three and a half storeys with ground floor shop fronts. Red brick and render with prominent decorative gables and small balconies above canted bay windows.
389-403 Walworth Road	Late C19/early C20 shopping parade. Three and a half storeys with ground floor shop fronts. Decorative corner building (No. 389) with a clock tower turret. Contrasting red brick and render window surrounds. Dormers and chimney stacks create a varied roof line.
405 Walworth Road	Inter-war public house. Prominent corner building. Three storeys with flat roof. Red brick with shallow curved oriel grey tiled window surrounds on Walworth Road and Westmoreland Road elevations. Grey tiled canted corner containing the lettering 'The Red Lion' and a relief of an eagle with 'Trumans Est. 1666' beneath. Grey tiled pub façade at ground floor level retained, with integral advertising within the fascia.
374 Walworth Road	Mid C19 public house. Three storeys with parapet concealing roof, partly balustraded. Upper floors gault brick, ground floor painted render. Corner entrance door with full height rendered panel above. Stucco window surrounds with alternate pedimented and segmental headers.
36-44 Walworth Road	Late C19 block of five shops with residential above. Date stone in roof level corner pediment states 1875. Highly decorative block of buildings. Yellow brick with contrasting darker yellow and red brick string coursing and headers. Ground floor shopfronts generally altered with some original pilasters and brackets retained. First floor windows have decorative stone headers. The southern corner first floor window is the most prominent. This is a three light window with pilasters between lights, decorative headers and brackets to sills above. Upper floor contains arched window headers, pilasters between lights and an oval corner window. A geometric tiling pattern at upper floor level, fish scale tiles beneath arched window headers and deep eaves overhang with brackets creates a highly decorative roofline.

Buildings of Townscape Merit

7.5 The following buildings have been identified as buildings of townscape merit:

- 1 3 and 4 Browning Street
- 2 26-30 (evens) Camberwell Road
- 3 49-53 (odds) Camberwell Road
- 4 57-67 (odds) Camberwell Road
- 5 Building to rear of 62-64 Camberwell Road (fronting Urlwin Street)
- 6 1-13 (odds) Manor Place
- 7 169-193 (odds) Walworth Road
- 8 199-261 (odds) Walworth Road
- 9 267 Walworth Road, Public House
- 10 281-289 (odds) Walworth Road
- 11 293-299 (odds) Walworth Road
- 12 307-327 (odds) Walworth Road
- 13 335 and 337 Walworth Road
- 14 Camgate Mansions, Walworth Road
- 15 206-222 (evens) Walworth Road
- 16 238-248 (evens) Walworth Road
- 17 252 and 260 Walworth Road
- 18 296-304 (evens) Walworth Road
- 19 308-324 (evens) Walworth Road
- 20 350-360 (evens) Walworth Road
- 21 1-5 (odds) Westmoreland Road

Views

- 7.6 Table 21 and photos 1-5 exemplify the views within the character area.

Tree Preservation Orders

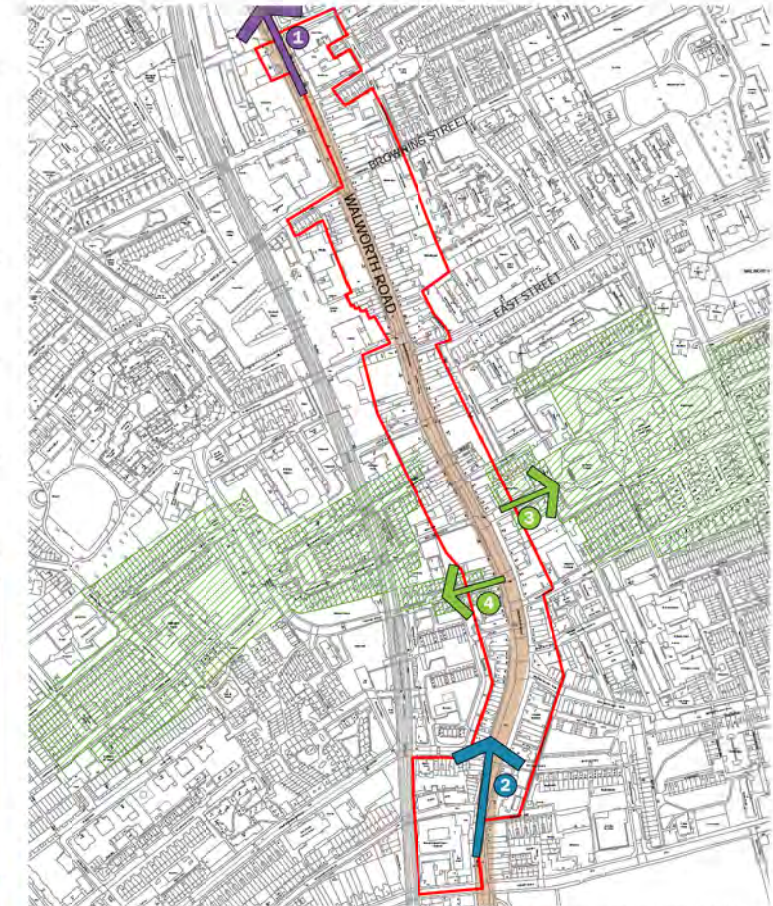
- 7.7 There is one TPO within the conservation area; this is located within Carter Place.
- 7.8 In addition, six weeks notice must be given to carry out any works to trees of a certain size within a conservation area.
- 7.9 For more information contact the Council's Urban Forester (020 7525 2090 or environment@southwark.gov.uk).

Table 21 - Views

View Description / Photo No	Type
1. View north along Walworth Road to Strata	Orientation view
2. View from southern end of character area north/north-east to Shard	View to surrounding landmark
3. View along Liverpool Grove to St. Peter's Church (grade I listed building)	View to historic building/into a conservation area
4. View along Fielding Street into Sutherland Square Conservation Area	View into a conservation area
5. View from Camberwell Road (outside Opportunity Area and beyond mapping area) towards St. Paul's Cathedral (grade I)	View to surrounding landmark



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Plan showing location of views

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8. Pullens

Conservation Areas

- 8.1 The Pullens Conservation Area falls within this character area. The Pullens Estate Conservation Area Appraisal (2006) provides a detailed understanding of the character and appearance of the conservation area.

Archaeological Priority Zone

- 8.2 A linear section of land within the character area, following Newington Causeway, falls within the Elephant and Castle/Kennington Park Road APZ. This APZ follows the likely route of Stane Street, the Roman road from London to Chichester.

Listed Buildings

- 8.3 There are no listed buildings within the Pullens character area.

Proposed Locally Listed Buildings

- 8.4 Table 22 provides a list and brief description of all buildings with the potential of local listing within the character area.

Buildings of Townscape Merit

- 8.5 All the buildings within the Pullens Conservation Area are considered to be buildings of townscape merit.

Views

- 8.6 Table 23 and photos 1-6 exemplify the views within the character area.

Tree Preservation Orders

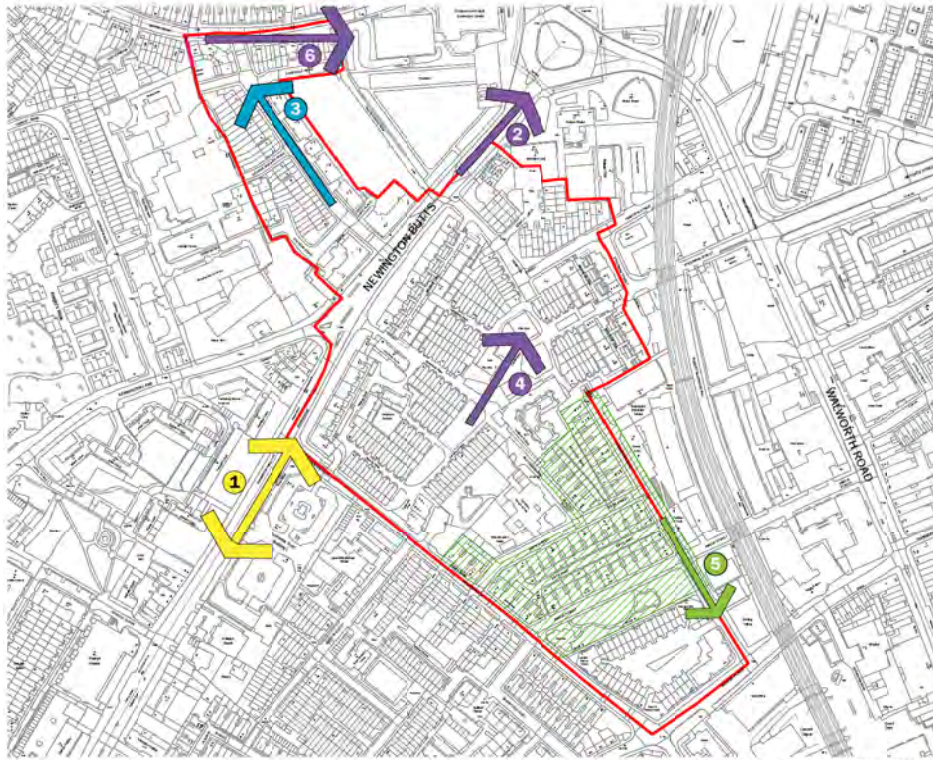
- 8.7 There are no TPOs within the character area.
- 8.8 Six weeks notice must be given to carry out any works to trees of a certain size within a conservation area.
- 8.9 For more information contact the Council's Urban Forester (020 7525 2090 or environment@southwark.gov.uk).

Table 22 - Locally Listed Buildings

Location	Description
The Hampton Court Palace Public House, Hampton Street	Late Victorian corner pub. Three storeys. Red brick with stone window surrounds and string coursing and panels of decorative terracotta tiling. Prominent stone and red brick stripes decorating the corner. Pediments above upper floor cornice and decorative pediment at roof level containing the engraving 'The Hampton Court Palace'.

Table 23 - Views

View Description / Photo No	Type
1. Views into/out of Opportunity Area along Newington Butts	Gateway view
2. View north-east along Newington Butts to Central Area tall buildings	Orientation view
3. North-west along Dante Road to London Eye (with Imperial War Museum in foreground)	View to surrounding landmark
4. North-east along Canterbury Place open space to Strata	Orientation View
5. South along Crampton Street towards the former Manor Place Baths (grade II listed)	View to historic building
6. View eastwards from the eastern end of Brook Drive to the Strata.	Orientation view



Plan showing location of views

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9. West Square

Conservation Areas

- 9.1 The West Square Conservation Area falls within the character area. In addition, a new conservation area (as yet undesignated) has been identified - Elliott's Row potential Conservation Area.
- 9.2 Draft conservation area appraisals are in progress for both these conservation areas which provide a more detailed understanding of their character and appearance.

Archaeological Priority Zone

- 9.3 There are no APZ's within this character area.

Listed Buildings

- 9.4 Table 24 provides a list and brief description of all statutorily listed buildings within the character area.

Table 24 - Listed Buildings

Location	Grade	Description
Albert Terrace and Railings, 4-48 (even) Gladstone Street	II	Terrace of 23 houses, 1849-52 by Garland and Christopher. Yellow stock brick with stucco banded rustication to ground floor and stucco dressings, slate roofs, some with dormers behind stucco parapet with cornice (broken in some places); stucco dressings, 2 storeys. Slightly projecting central 2-bay section (No.24) and flanking pedimented 4 bay sections (Nos 12, 14, 38 & 40). Steps up to panelled doors with original fittings and oblong overlights, set in Classical doorcases with pilasters to plain entablature and cornice. Ground-floor sash windows with margin lights have keystones touching cornice. Grand pediment to Nos 38 & 40 has beehive emblem set in tympanum, possibly connected with Royal Philanthropic Society Reformatory, who owned the estate. Wrought-iron area railings and some window boxes with anthemion panels. Listed Building No 470951
13-35 Gladstone Street (odd) and attached Railings	II	Terrace of 12 houses, 1849-1852 by Garland and Christopher. Yellow stock brick with stucco banded rustication to ground floor and stucco dressings, slate roofs, some with dormers behind stucco parapet with cornice; stucco dressings, 2 storeys (except No.31 which is 3 storeys). Mostly 2 bays. Nos 13 & 29 are double fronted with a rusticated stucco pilaster rising up to cornice. Steps up to panelled doors with original fittings and oblong overlights, set in Classical doorcases with pilasters to plain entablature and cornice. Splayed return to No.31 has vermiculated keystone set into elliptical-arched carriage way with double doors. Wrought-iron area railings and some window boxes. No.31 has decorative iron guards to 1st- and 2nd-floor windows. Listed Building No 470952
2-18 Colnbrook Street and attached railings	II	Terrace of 17 houses, 1849-52 by Garland and Christopher. Yellow stock brick with stucco banded rustication to ground floor and stucco dressings, slate roofs, behind stucco cornice and blocking course (bracketed over projecting sections and partly replaced by brick parapet; stucco dressings, 2 storeys, 2 bays each. Steps up to panelled doors with original fittings and oblong overlights, set in Classical doorcases with pilasters to plain entablature and cornice. Ground-floor sash windows with margin lights have keystones touching cornice. Wrought-iron area railings. Listed Building No 470827
Colnbrook Street Schools	II	National schools, 1870-1874, probably by Hall. The stone dressings were renewed at about the time the Church of St Jude, St George's Road was rebuilt, c1898. Brick in Flemish bond with stone dressings; roof covering concealed by parapet. Gable-facing elevation of 2 storeys and 2-window range in Gothic Revival style. First-floor level entrance at south corner reached up flight of stairs and set in a gabled porch. Ground-floor windows are mullioned; Perpendicular tracery to 4-light first-floor hall windows, which have mullions and one transom each. Between these is a wall shaft rising to a bell cote. The facing gable is crowstepped, and forms a strong group with the pair of east-facing gables to St Jude's Church in St George's Road. 2-storey, flat-roofed addition to the south dates to 1902-3; the Modern style addition to the north was opened in 1966. Neither is of architectural interest. Listed Building No 470828
Former Church of St Jude	II	Chapel, rebuilt as Anglican church, now community centre, 1803-1806 by James Peacock for the Philanthropic Society, a group dedicated to reforming young offenders and occupying the site from 1791 to 1849. In 1871 a scheme for reorienting the church, extending it and providing a proper chancel was carried out. It was largely rebuilt between 1888 and 1890 by WJH Leverton, sweeping away virtually all earlier structures. Nave and square-ended chancel of 4 bays with north and south aisles. Ritual west end never completed. Spare lancet Gothic style, relying for effect on boldly proportioned masses. Red brick in English bond with stone dressings and tile roof. The earlier structure survives at the west end of the north aisle, consisting of 4 pointed windows. It is unrelated in scale or materials to the later Victorian church. Listed Building No 1385857
Imperial War Museum	II	Formerly Bethlehem Hospital for the insane, now museum. 1812-14 by James Lewis, extended by Sydney Smirke and P Hardwick 1835 and 1844-46. Converted into museum c1936. Damaged and restored after World War II. Brick with stone details and hipped slate roof. Central block of 3 storeys and basement, 17 bays surmounted by octagonal dome on drum with copper roof which contained chapel and replaced original cupola in 1840s; dome rebuilt after fire in 1970s. Side wings of 1844-6 now demolished. Front has projecting section of 11 bays surmounted by stone balustraded parapet; stone hexastyle Ionic portico to central 5 bays (also of 1840s) with pediment containing coat of arms and inscription on frieze. Ground-floor windows with moulded stone architraves and aprons; 1st-floor windows similar but with entablature and cornice; 2nd-floor small windows with moulded stone architraves. The surrounding grounds are now the Geraldine Mary Harmsworth Park. Listed Building No 1385640

Lodge to Imperial War Museum	ii	Former Lodge to Bethlehem Hospital, now villa, 1837. Stucco with cornice and parapet, stepped over centre with coat of arms. 1 storey, 3 bays. Plinth, rusticated quoins and rusticated central section, projecting on 2 planes with segmental-arched doorway with voussoirs and cyma moulded key rising to cornice. Door deeply recessed with moulded architrave. Italianate chimney with bracketed cornice. Inscription on north wall reads: "This lodge was built and the ground enclosed and planted MDCCCXXVII. Sir Peter Laurie, Alderman of the City of London, President. Ralph Price Esquire, Treasurer of the Royal Hospitals of Bridewell and Bethlem".
Charlotte Sharman School, Block fronting Geraldine Street	ii	School, 1884-5 for the School Board for London. Yellow and red brick with black brick plinth. Irregular L-plan. Two upper storeys articulated by a blind segmental-arched arcade, the arches and banding in red brick. The 2nd-floor windows have segmental heads, while those on the 1st floor have flat arches. The ground floor is red brick with banded rustication and rectangular windows surmounted by segmental pointed arches with keystones. The west elevation (facing Geraldine Street) has a 12-window range with 2 slightly projecting blocks of 2-window ranges at either end. The great majority of the windows still retain their original glazing bars. The brick parapet surrounding the rooftop playground has rectangular openings, the proportions and placement of which suggest the attic storey of a Classical building. Listed Building No 1386044
6-19 West Square and attached Railings	ii	Terrace of 14 houses in unified composition, 1794. Yellow brick with stucco dressings; parapet (stuccoed to end pairs of houses) with dentil cornice (Nos 11 & 14-17 have lost cornices); slate mansards with dormers to Nos 8 & 9. 3 storeys and basement, 2 bays each. Slightly projecting pedimented central feature (Nos 12 & 13) with flanking houses (Nos 11 & 14), and end pairs of houses (Nos 6-7 & 18-19) also projecting. Steps up to doors (some replaced by windows) in round-arched recesses with stucco impost blocks continuous with break-front cornice heads, keystones and plain fanlights. Central pedimented section has 1st-floor windows in segmental-arched recesses with stucco string at spring; end pairs and house each side of central section have 1st-floor windows in round-arched recesses with similar string. Cast-iron hand and area railings. The buildings in West Square form a group. Listed Building No 1386040
20-24 West Square and attached Railings	ii	Terrace of 5 houses, c1800. Yellow brick with stucco dressings; dentil cornice and parapet (No.20 with stucco modillion cornice instead of parapet). 3 storeys and basement, 2 bays each (except No.20 which has 3 bays). Round-headed doorways in round-arched recesses with stuccoed keys and impost blocks continuous with break-front cornice heads; decorative fanlights and original doors. No.24 (with stuccoed ground floor) has entrance on return with console bracketed dentil cornice, recessed, round-arched door with moulded spandrels and cornice head and decorative fanlight; moulded architraves to windows. All other windows have flat, gauged-brick arches to 4-, 6- and 12-pane sashes. Cast-iron area railings. The buildings in West Square form a group. Listed Building No 1386041
25-28 West Square and attached Railings	ii	Terrace of 4 houses, c1810. Yellow brick with brick parapet, upper floors renewed. 4 storeys and basement, 3 bays each. Steps up to doors recessed in plain wood surrounds with panelled cornice head and decorative fanlights to Nos 26-28. Flat, gauged-brick arches to sash windows, some 12-, some 4-pane. Cast-iron area railings with urn finials; overthrow with lamp holder to No.28. The buildings in West Square form a group. Listed Building No 1386042
29-45 West Square and attached Railings	ii	Terrace of 17 houses, 1794, with later alterations. Yellow brick with stucco dressings; dentil cornice and brick parapet (except for Nos 29-32, and No.45 which has stuccoed cornice and blocking course); slate mansards with dormers to Nos 29-32, 37-38 & 45. 3 storeys (4 to No.36), basements and some attics; 2 bays each (No.45 one-bay). Doors all round-headed with decorative fanlights in stucco lined recesses (except for Nos 29-32 which have stucco architraves); break-front cornice heads continuous with stucco impost blocks, and keys. No.29 has panelled wood casing with fluted pilasters, frieze and cornice; original door with reeded half-columns and cornice head. No.45 has door on return with moulded architrave with vermiculated key to round-arched opening containing original door with cornice head. Centre section (Nos 35-38) slightly projecting on 2 planes with 1st-floor windows in round-arched recesses with stucco string at spring and sill band. All gauged, flat brick arches to windows, mostly sashes with glazing bars, except Nos 29-32 which have lengthened casements, No.29 with cast-iron balcony at 1st floor. Cast-iron hand rails and area railings. Designated as a unified composition. The buildings in West Square form a group. Listed Building No 1386043
63-83 St George's Road	ii	Terrace of 11 houses set back from street. 1794. Brown and yellow brick with plain brick coped parapet; Nos 18 & 83 with banded, rusticated stuccoed ground floor, No.81 with stucco cornice and 1 giant pilaster to left. 3 storeys and basement, 2 bays with 3 openings to ground floor. Round-arched doorways with doors in round-arched stucco lined recesses with moulded stucco impost blocks continuing break-front cornice head; those to Nos 71-81 have stucco architraves. All but Nos 67-71 have decorative fanlights. No.79 has slender, attached reeded columns with foliage capitals and reeded cornice head to timber doorcase with original 6-panelled door. No.81 has reeded jambs to door. Entrance to No.83 on return. Flat, gauged-brick arches to sash windows with glazing bars, except to Nos 71-83 which have stuccoed lintels with keys. Listed Building No 1385855

Table 25 - Locally Listed Buildings

Location	Description
No. 1 Gladstone Street, The Albert Arms public house.	Mid C19 pub on triangular site with rounded apex. Painted, pilastered pub front; 1st and 2nd floors stuccoed with moulded cornice and architraves. The rounded apex has a pedimented window on the first floor. LL12-34
Notre Dame RC Secondary School for Girls	Late C19 / early C20 convent school. Four storeys with 3-bay block on the corner with Gladstone Street and 4-storey return to the north. The corner block has a stucco ground floor with Doric pilasters and entablature flanking a taller niche containing a figure of St. Mary. The upper floors are of red brick with stucco dressings to mullioned and transomed windows and a stucco main cornice with balustraded parapet. LL12-19; 06/05/2009.
Railings to Notre Dame RC Secondary School for Girls	Cast iron Gothic railings with battlemented top rail and clustered shafts to the main standards. LL12-18; 06/05/2009.
Nos. 110 – 116 (even) St. George's Road (N side).	Mid C19. Balanced terrace of four 4-storey stuccoed houses with basements, each 2 bays wide, with the 3rd floor treated as a sheer attic above the main cornice. Italianate style. Channelled ground floors with Doric door cases. 1st floor window openings have moulded architraves and bracketed cornices, pedimented at Nos. 112 and 114. The 2nd and 3rd floor openings have moulded architraves. Nos. 112 and 114's 3rd floor openings are round arched. Nos. 110 and 116 have 1st floor balconies. LL12-20
Nos. 104 - 108 (even) St. George's Road (N side).	Mid C19. Terrace of three 3-storey houses with basements, each 1 bay wide. No. 104 is stuccoed throughout; Nos. 106 and 108 have stuccoed ground floors with yellow brick faced upper floors. The 1st and 2nd floor window openings have stucco aedicular surrounds. LL12-13
Siobhan Davies Studios, St. George's Road (S side)	Late C19, converted late C20. Formerly part of Charlotte Sharman School, West Square. Yellow brick with red brick dressings. 2 main storeys with prominent modern blue fabric clad attic in Expressionist style. LL12-4
Imperial War Museum All Saints Annex, Austral Street	Mid C19. Large institutional building set back from the road. 3 storeys above a raised basement with the end bays set forward. Yellow brick with red brick basement and bands. Central, pedimented ionic porch at the head of a flight of steps. Ground floor windows are round arched, the upper floor openings have flat lintels. Slate roof with eaves and prominent chimney stacks. Cast iron railings to Austral Street. LL12-36
Two Eagles House, Austral Street	Late C19 corner pub, now in residential use. Three and a half storeys. Timber-framed ground floor pub façade largely retained. Canted corner at ground floor was presumably the main entrance; piers and a decorative entablature are retained. Faced in red brick with stone window surrounds, keystones above windows and string coursing. Parapet at roof level with gabled dormers topped by pediments and eagle statues.
51 St George's Road (South side), The Prince of Wales Public House	Late C19 street corner pub. 2 storeys with attic. 3-bay front to St. George's Road with a Dutch gable to the attic. Plain pub front with fascia and dentil cornice. Red brick and stone banding above, with corner ionic pilasters and entablature. Moulded brick name panel. LL12-15
57-59 St George's Road (South side)	Mid C19 pair, No. 57 with carriageway on the ground floor. 3 storeys, 2 windows wide each. Yellow stock brick with stucco dressings; moulded architraves to the window openings with frieze and cornice on the ground and first floors, stucco main cornice and blocking course. LL12-9

Proposed Locally Listed Buildings

9.5 Table 25 provides a list and brief description of all buildings with the potential of local listing within the character area.

Buildings of Townscape Merit

9.6 The following buildings have been identified as buildings of townscape merit:

- 1 2-6 (evens) Austral Street
- 2 1-25 (odds) Austral Street
- 3 7-69 (odds) Brook Drive
- 4 91-117 (odds) Brook Drive
- 5 119-193 (odds) Brook Drive
- 6 33-60 (consec.) Elliott's Row
- 7 67 and 68 Elliott's Row
- 8 1-84 Elliott's Row, Hayles Buildings
- 9 30 and 31 Elliott's Row
- 10 11-35 (odds) Gaywood Street
- 11 8-22 (evens) Gaywood Street
- 12 55 St George's Road
- 13 1-34 St George's Road, St George's Buildings
- 14 21 St George's Road
- 15 58-60 St George's Road
- 16 56 Hayles Street
- 17 48 Hayles Street
- 18 16-24 (evens) Hayles Street
- 19 39-61 (odds) Hayles Street
- 20 7-27 (odds) Hayles Street
- 21 11-15 (odds) Orient Street
- 22 3-43 (odds) Oswin Street
- 23 7-19 (odds) Princess Street
- 24 School Keeper's House, West Square

2-10 (even) Hayles Street	Mid C19 terrace of 5 2-storey houses, each two bays wide. Stock brick with stucco dressings, including ground floor window architraves and lintels to the 1st floor openings. Paired, round arched doorways with stucco surrounds. LL12-3
12-14 (even) Hayles Street (description relates to 12-24)	Dated "Hayles Terrace 1853". Similar to Nos. 2 - 10 Hayles Street [q.v., above], but with 3 storeys. The end properties formerly housed shops but these have been converted to residential use. Stucco main cornice and blocking course with a raised, inscribed panel in the centre. LL12-2
26-32 (even) Hayles Street	Mid C19 terrace of 4 2-storey houses, each 2 bays wide. Stock brick with stucco dressings, including ground floor window architraves and lintels to the 1st floor openings. Paired, round arched doorways with stucco surrounds. LL12-1
34 Hayles Street	Dated 1894 on plaque to the Lambeth Hayles Estate. 3 storeys, 2 bays wide. Yellow stock brick with red brick pilaster strips, frieze, cornice and parapet with central pedimented date panel. LL12-8
38-40 Hayles Street	Nos. 38, 40 Hayles Street. Early / mid C19 pair of 2-storey cottages, each one bay wide. Faced with stock brick with a stucco cornice. Stucco Doric doorcase to No. 40. No. 38's doorway is in the side elevation and has a plain surround. No. 40's ground floor window retains original 6/6 pane timber sashes, without horns. LL12-5
42-46 (even) Hayles Street	Early/mid C19 of two-storey houses, each two bays wide. Stock brick with red brick window and door headers. Arched doors with fanlights. Six-over-six sashed windows. Small front gardens with solid brick walls.
50-54 (even) Hayles Street	Mid C19 of two-storey houses, each two bays wide. Stock brick with red brick window and door headers. Arched doors with fanlights. Six-over-six sashed windows. Small front gardens with solid brick walls.
58-60 (even) Hayles Street	Mid C19 of two-storey houses, each two bays wide. Stock brick with red brick window and door headers. Arched doors with fanlights. Six-over-six sashed windows. Small front gardens with solid brick walls.
1-5 (odd) Hayles Street	Mid C19 terrace of three two-storey houses, each two bays wide. Stock brick with stucco dressings, including ground floor window architraves and lintels to the 1st floor openings. Round arched doorways with stucco surrounds.
29-35 (odd Hayles Street)	Mid C19 terrace of four two-storey houses. Stock brick with stucco door surrounds and matching stucco brick window headers. Six-over-six sashed windows. Alterations have been made to No. 29. Small front gardens with stock brick walling/metal fencing.
61-64 Elliott's Row	Early to Mid C19 terrace. Three storey stucco buildings with stucco door surrounds and stucco window architraves with decorative scrolling above sill band. No. 63 has an arched coach opening with a vermiculated key stone above and double-timber doors leading to the rear.

Views

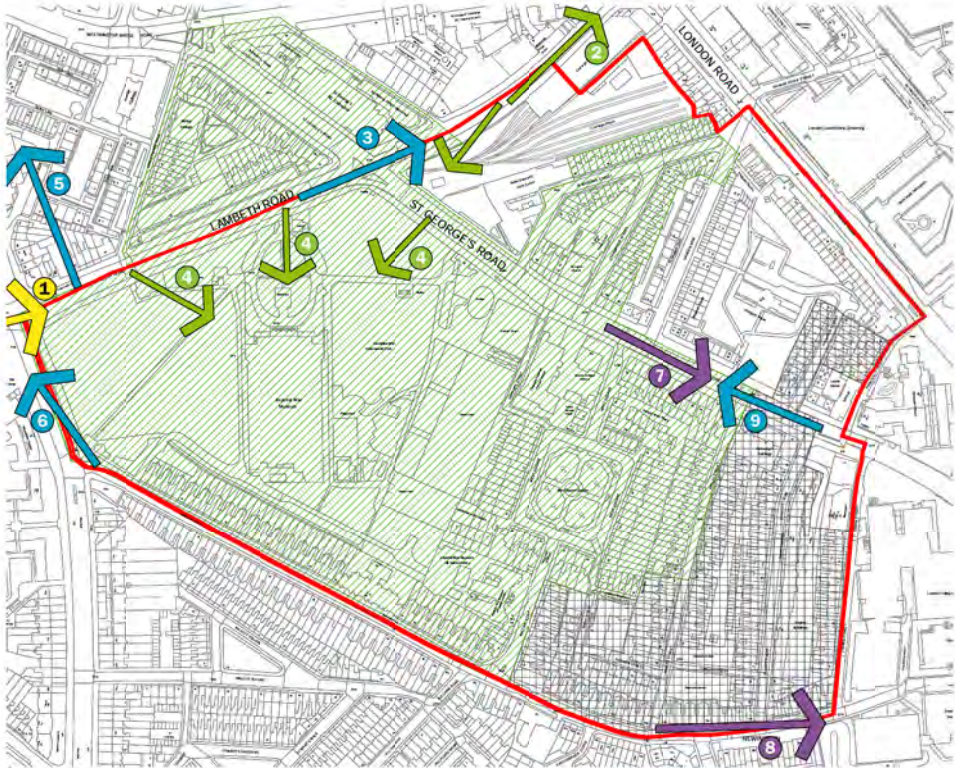
- 9.7 Table 26 and photos 1-9 exemplify the views within the character area.

Tree Preservation Orders

- 9.8 There is one TPO within the conservation area; this is located within the garden of 112 St. George's Road.
- 9.9 In addition, six weeks notice must be given to carry out any works to trees of a certain size within a conservation area.
- 9.10 For more information contact the Council's Urban Forester (020 7525 2090 or environment@southwark.gov.uk).

Table 26 - Views

View Description / Photo No	Type
1. Views east-west along Lambeth Road into/out of Opportunity Area	Gateway view
2. View along Lambeth Road to grade II* listed Obelisk	View to historic structure
3. View north-eastwards from Lambeth Road to Shard	View to surrounding landmark
4. Views from Lambeth Road/St. George's Road to the Imperial War Museum (grade II listed)	View to historic building
5. Northwards from Lambeth Road to Christ Church and Upton Chapel (listed building)	View to surrounding landmark
6. Northwards from Kennington Park Road to London Eye	View to surrounding landmark
7. South-east along St George's Road to Central Area tall buildings	Orientation views
8. View eastwards from eastern end of Brook Drive to the Strata	Orientation views
9. North along St. George's Road to Roman Catholic Cathedral of St. George (grade II listed)	View to surrounding landmark



Plan showing location of views

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Appendix 2: Planning Policy

Planning Policy National Guidance

The key elements of the planning policy framework that are of most relevance to the study have been included at Section 4.0 of the document. This appendix provides a more comprehensive resource for the planning policy background to the study.

The principal Planning Policy Statements that are relevant to this study are:

1. Planning Policy Statement (PPS) 1: Delivering Sustainable Development (2005) - PPS 1 sets out the government's vision for planning, with sustainable development at the core of the planning system.
2. PPS3: Housing (2010) - PPS 3 seeks to ensure that there is a wide range of housing available to meet all the needs of the community, and that sustainable, inclusive mixed communities are created.
3. PPS4: Planning for Sustainable Economic Growth (2009) - PPS 4 aims to help achieve sustainable economic growth
4. PPS5: Planning for the Historic Environment (2010) - sets out the Government's planning policies on the conservation of the historic environment.
5. PPG13: Transport (2001, updated 2011) - PPG 13 aims to integrate planning and transport in order to promote sustainable transport choices and accessibility as well as reducing the need to travel.

The Development Plan

The development plan for the Opportunity Area comprises the London Plan (2008), saved policies from the Southwark Plan (2007) and the recently adopted Core Strategy (2011).

The London Plan (2008)

The London Plan sets out the strategic planning framework for London, it provides planning advice on a sub-regional basis.

Policy 5D.2 identifies the Elephant and Castle Opportunity Area as an area for major change and regeneration. Table 5D.1 provides the following details:

1. Area - 87ha
2. Indicative increase in employment capacity between 2001 and 2026 - 4,200 jobs
3. Minimum additional homes between 2001-2026 - 6,000 new homes

The supporting text notes that a planning framework has been prepared for the area which promotes it as a suitable location to a) meet some of central London's longer-term needs for extra office space, b) as an area generally suitable for tall buildings and c) where a framework of connected public open spaces should be promoted (paragraph 5.1.10).

Draft Replacement London Plan (October 2009, including minor alterations (Dec. 2009 and Sept. 2010))

The Draft Replacement London Plan (October 2009) has recently undergone an examination in public (concluded in December 2010). The Panel's report is scheduled for publication by early February 2011, with adoption around autumn 2011. This sets out strategic planning for the next 20-25 years.

Policy 2.13 states the Mayor will work with Borough's to prepare and implement Opportunity Area Planning Frameworks to realise their growth potential.

The consultation draft included at Annex 1, Table A.1.1 revised growth potential figures for the Elephant and Castle Opportunity Area, as follows:

1. Area - 88ha
2. Indicative employment capacity - 5,000 jobs
3. Minimum new homes - 4,000

Annex 1 notes that in some Opportunity Areas the transport system would not currently support the level of growth proposed and development contributions may be required to underpin growth.

Table A.1.1 indicates that the Council's Opportunity Area framework has been adopted and is now under review. It confirms the area is undergoing major transformation in terms of housing and retail provision and development of a more efficient transport interchange. It notes "There is scope to create a series of connected public open spaces complemented by environmental and traffic management improvements. Resolution of these and rail related issues are crucial to the successful redevelopment of this southern gateway to central London."

Core Strategy (Final Version, April 2011)

The Core Strategy was adopted on 6th April 2011. It guides change within Southwark until 2026. Section 4 provides updated policy on the Elephant and Castle Opportunity Area. The Council's overall vision is to facilitate regeneration to create a more desirable place for both existing and new residents; to provide shopping, leisure facilities and cultural activities; and, to further develop London South Bank University and London University of the Arts (paragraph 4.26). At paragraph 4.27 the Council state:

"We are using our land at the heart of the area to stimulate 440,000 sq.m of new development with of up to 45,000 sq.m new shopping and leisure floor space and 25,000-30,000 sq.m of business floorspace. We will meet our target of 4000 new homes and a minimum of 1,400 affordable housing units by working with the local community,

registered providers and private developers to deliver new homes. We will also meet the London plan target of 5,000 new jobs by encouraging more offices, hotels, small businesses and developing the evening economy and cultural activities. There could be tall buildings on some sites in the core area where this helps stimulate regeneration and creates a distinctive place. We will set out in detail which sites are appropriate, sensitive and inappropriate for tall buildings through the supplementary planning document/opportunity area framework."

Paragraph 4.28 sets out how a highly integrated and efficient public transport hub will be created to accommodate the new residents and activities in the area, including:

1. An improved Northern line station
2. Enhanced conditions for bus and rail uses
3. An improved interchange between the various modes
4. Removal of existing subways to provide surface pedestrian crossings.
5. A minimum level of car parking and limitations on traffic
6. An improved street layout including public open spaces

These proposed floorspace, new housing and job targets are set out in the Core Strategy's Section 5 polices, as summarised below:

How these targets will be accommodated is set out within the policies included at Section 5. Those relevant to the study are listed below:

1. Strategic Policy 1 - Sustainable Development: Allowing more intense development for a mix of uses in growth area and regenerating areas like Elephant and Castle.
2. Strategic Policy 2 - Sustainable Transport: Encourage walking, cycling and the use of public transport.

3. Strategic Policy 3 - Shopping, Leisure and Entertainment: Defines Elephant and Castle/ Walworth Road as a Major Central Area with existing retail floorspace of 69,000sqm. An additional 45,000sqm of shopping and leisured space will be provided focusing on non-food shopping and strengthening its role as a major Central Area.
4. Strategic Policy 4 - Places for learning, enjoyment and healthy lifestyles: provide a range of well used community facilities.
5. Strategic Policy 5 - Providing new homes: provide 4,000 net new homes in the Elephant and Castle Opportunity Area. The Opportunity Area falls within the Central Activity Zone (CAZ). For the CAS residential density will be expected to be between 650 to 1,100 habitable rooms per hectare (taking into account matters which include the quantity and impact of any non-residential uses. Within the Opportunity Area the maximum densities may be exceeded when developments are of an exemplary standard of design.
6. Strategic Policy 6 - Homes for people on different incomes: Providing a minimum of 1,400 affordable housing units in Elephant and Castle Opportunity Area between 2011 and 2026.
7. Strategic Policy 7 - Family Homes: Development of 10 or more units must have at least 60% 2 or more bedrooms and minimum 10% 3, 4 or 5 bedrooms in the Elephant and Castle Opportunity Area.
8. Strategic Policy 8 - Student Homes: allow development of student homes within the Central Areas and places with good access to public transport provided that these do not harm the local character.

9. Strategic Policy 9 - Homes for Travellers and Gypsies: protect and provide new sites to meet the needs of Travellers and Gypsies.
10. Strategic Policy 10 - Jobs and businesses: Protecting existing business floorspace and supporting the provision of around 25,000sqm - 30, 000sqm of additional business floorspace in the CAZ and Central Areas.
11. Strategic Policy 11 - Open spaces and wildlife: to protect and maintain a network of open spaces.
12. Strategic Policy 12 - Design and Conservation: to achieve high design standards for buildings and public spaces. By conserving or enhancing heritage assets and their settings. Ensuring the height and design conserves and enhances strategic views and local views. Tall buildings are appropriate in the Elephant and Castle core.
13. Strategic Policy 13 - High environmental standards: respecting natural resources, reducing pollution and damage to the environment to help adapt to climate change.

Southwark Plan (2007)

Some of the Southwark Plan strategies remain in place to guide development control decisions. These are listed in Table 4, Appendix B of the adopted Core Strategy (2011). The saved Southwark Plan policies most relevant to the characterisation study are listed below. Other saved policies may be relevant to the wider objectives of the SPD/OAF but are not included here.

1. 1.1 Access to employment opportunities
2. 1.2 Strategic and local preferred industrial locations

3. 1.4 Employment sites outside the preferred office locations and preferred industrial locations
4. 1.5 Small business units
5. 1.6 Live/work units
6. 1.7 Development within town and local centres
7. 1.8 Location of developments for retail and other Central Area uses
8. 1.9 Change of use within protected shopping frontages
9. 1.11 Arts, culture and tourism uses
10. 1.12 Hotels and visitor accommodation
11. 2.1 Enhancement of community facilities
12. 2.2 Provision of new community facilities
13. 2.3 Enhancement of educational establishments
14. 3.11 Efficient use of land
15. 3.12 Quality in design
16. 3.13 Urban design
17. 3.14 Designing out crime
18. 3.15 Conservation of the historic environment
19. 3.16 Conservation areas
20. 3.17 Listed buildings
21. 3.18 Setting of listed buildings, conservation areas and world heritage sites
22. 3.19 Archaeology
23. 3.20 Tall buildings
24. 3.22 Important local views
25. 3.23 Outdoor advertisements and signage
26. 3.27 Other open space

27. 4.2 Quality of residential accommodation
28. 4.3 Mix of dwellings
29. 4.4 Affordable housing
30. 4.6 Loss of residential accommodation
31. 5.1 Locating developments
32. 5.2 Transport Impacts
33. 5.3 Walking and Cycling
34. 5.4 Public Transport Improvements
35. 5.6 Car parking
36. 5.7 Parking Standards for disabled people and the mobility impaired
37. 5.8 Other Parking

Proposal Site 39P on the Southwark Proposals Map has been saved. This identifies the core of the opportunity area. The schedule included in Appendix 3 of the Southwark Plan lists the uses sought for the area as: a range of D Use classes including social, educational, health, community and leisure facilities, a new secondary school, a healthy living centre, leisure centre, a library and new nursery provision; mixed tenure new homes; new retail and A Use Class together with additional complementary Central Area uses including cultural/entertainment uses, leisure, offices, hotels and public facilities; and, B1 space including incubator units, managed workspace and accommodation for small businesses and the cultural industry sector (the exact quantum for the various uses has been superseded by the Core Strategy). Transport improvements are also required.

Other Proposal Sites within the Opportunity Area that have been saved through the Core Strategy are:

1. Proposal Site 9P: Library Street Neighbourhood Office and Land between St. James Street and Milcote Street
2. Proposal Site 38P: Prospect House Playground, St. George's Road
3. Proposal Site 40P: Albert Barnes House, New Kent Road
4. Proposal Site 49P: Manor Place Depot
5. Proposal Site 50P: Land bounded by Brandon Street and Larcom Street
6. Proposal Site 51P: Nursery Row Park car parks, Wadding Street and Brandon Street.

Supplementary Planning Guidance

London View Management Framework SPG (2010)

The London View Management Framework (LVMF SPG) was adopted as Revised Supplementary Planning Guidance to the London Plan in July 2010. It seeks to protect views of London and some of its major landmarks.

The Elephant and Castle Opportunity Area falls within the protected vistas of two designated views:

1. View 1 from Alexandra Palace, the opportunity site lies to the very west of the Landmark Background Assessment Area of Assessment Point 1A.2, which is the best position from which to appreciate St Paul's Cathedral. Development within this area should not exceed 52.1m AOD which is the indicative height of the threshold plane.
2. View 23 from the bridge over the Serpentine, assessment Point 23A.1 from the centre of the bridge represents views eastwards

towards the far end of the lake and the townscape beyond. The Opportunity Area falls within the Landmark Background Assessment Area and the indicative height of the threshold plane for this area is between approximately 60 and 65m AOD.

3. The Background Assessment Areas of these two views are shown on the building heights map (Fig.X page X). Proposals for tall buildings within the Opportunity Area will need to give consideration to the guidelines provided within the LVMF SPG to protect these key views, in particular the acceptable height thresholds.
4. In addition, development proposals including tall buildings within the Opportunity Area should give consideration to the following townscape and river prospects:
 - i. View 19A Lambeth Bridge: downstream.
 - ii. View 20A Victoria Embankment: between Westminster and Hungerford Bridges.
 - iii. View 20B Victoria Embankment: between Waterloo and Hungerford Bridges.

Southwark Council has been advised that the Mayor is intending to consult on an additional view for inclusion within the LVMF. The view is towards the Houses of Parliament from the western side of Parliament Square (equivalent to view 37 identified in Westminster Council's Metropolitan Views SPD Consultation Draft (2007). The guidelines will seek to protect the silhouette of the Houses of Parliament. Proposals for tall buildings within the Opportunity Area will need to give consideration to the impact on this view.

Elephant and Castle Development Framework (2004)

This was adopted in 2004 and includes an illustrative masterplan. A new SPD/OAPF is currently being prepared which will replace the 2004 SPG (this characterisation study will form part of the evidence base for the SPD/OAPF). Whilst target figures have been amended and the illustrative masterplan is likely to be superseded within the new SPD/OAPF, some of the broad principles remain (subject to negotiation with other stakeholders and viability considerations). Lend Lease is currently preparing a masterplan for the area and will be submitting a planning application for the first phase of development in autumn 2011. The broad principles for regeneration of the Central Area and Heygate Estate comprise:

Extending Walworth Road to the north to create a continuous high street. Tall buildings may be accommodated within the heart of the Central Area.

Removing the underpasses to the northern roundabout and replacing with surface crossing points to improve the pedestrian environment and facilitate the interchange between transport nodes.

Improving east-west links, access to the existing station and the station environment. This may include demolition of the brick infill walls to the viaduct arches.

Potential introduction of a new mixed-use public space (envisaged in the illustrative masterplan as a market square) to the east of the viaduct drawing people through from the west.

A new residential quarter, potentially including a town park, to replace the Heygate Estate.

The opportunity to remodel Heygate Street to create a tree-lined street, which will provide space for cars, buses, cycle tracks and generous pavements.

Improvements to St. Mary's Churchyard through refurbishment (completed) and introduction of buildings to enclose the northern and western sides.

Walworth Road SPD (2008)

An SPD was prepared for the northern part of Walworth Road. The area included

1. 120 to 138 Walworth Road (the former petrol station and Burger King)
2. 140-152 Walworth Road (John Smith House, Grade II listed)
3. What was then the vacant site on the corner of Amelia Street and Robert Dashwood Way (since developed)

The SPD provides guidance on:

1. appropriate land uses, such as residential retail and community uses
2. building heights
3. residential densities
4. design guidance setting how development should fit in and respond to listed buildings
5. section 106 planning contributions

Elephant and Castle Enterprise Quarter SPD (2008)

The Enterprise Quarter forms part of the Elephant and Castle Opportunity Area. In light of its role within the Opportunity Area and the potential for significant change through development the SPD was written to help guide that change. It identifies a development framework for the area (land use, movement principles, built form, public realm and sustainability), identifies development sites and sets out a public realm and local transport strategy.

Southwark Streetscape Design Manual (Consultation Document) (ADD DATE)

The Southwark Streetscape Design Manual (SSDM) will be split into two parts. Part 1 will provide general information on the borough's design requirements for all users and will be formally adopted by the Council. Part 2 will provide technical

information such as appropriate types of paving materials, location of street furniture or the spacing of street trees.

Consultation on part 1 (summary guide and regulating plan) closed on 18 April 2011. Once amendments have been made part 1 will be submitted for approval in summer 2011. Once adopted part 2 will follow. The manual will guide all public realm works within Southwark.

Ten key objectives set out in the summary guide These are:

1. SD01: More inclusive and accessible Streets
2. SD02: More active travel in streets healthier lifestyles for residents
3. SD03: Improved road safety and reduced road danger
4. SD04: Greater permeability for all street users and enhanced journey experience
5. SD05: Visually simplified street layouts
6. SD06: More social streets and spaces
7. SD07: Economic improvements in our communities
8. SD08: Greener streets that are better adapted to climate change
9. SD09: Improved security and community confidence
10. SD10: Greater sustainability in our use of resources.

The following policies are provided to meet the objectives:

1. SDPi Levels
2. SDPii Obstructions
3. SDPiii Rest opportunities
4. SDPiv Crossings
5. SDPv Navigation aids and protection for vulnerable pedestrians

6. SDPvi Street user priority
7. SDPvii Supporting children and young people's right to play and congregate in public space and travel independently
8. SDPviii Road danger reduction
9. SDPix Avoiding conflict between pedestrians and cyclists
10. SDPx Enhancing permeability for all modes of transport
11. SDPxi Creating the conditions for smoother journeys at consistent low speeds
12. SDPxii Visual clutter reduction
13. SDPxiii Enhancing sense of place
14. SDPxiv Vibrancy, vitality and opportunities for interaction
15. SDPxv Expanding vehicle traffic free space and the wider pedestrian realm
16. SDPxvi Respecting historic assets and local distinctiveness
17. SDPxvii Bringing streets up to area standard specification
18. SDPxviii Increasing tree and ground canopy cover
19. SDPxix Designing in sustainable urban drainage systems
20. SDPxx Community adoption of green spaces in streets
21. SDPxxi Perceived personal safety
22. SDPxxii Recycling and materials
23. SDPxxiii Ease of maintenance of materials

The Regulating Plan roughly indicates the Elephant and Castle Opportunity Area. The Opportunity Area falls within SSDM Central Area where palette characteristics are "Mix of standard and higher visual quality/value elements, with a focus on those with a modern character that are reasonably

robust. Elements that are more sustainable used where possible."

The conservation areas (St George's Circus, West Square and Pullens) are defined as SSDM Heritage where palette characteristics are "Higher visual quality/value elements, with a focus on sourcing those with a heritage character first and foremost."

The plan also shows the Transport for London streets where the SSDM does not apply.

Southwark Transport Plan (Consultation Draft, 2010)

A new transport plan for Southwark (to replace the Local Implementation Plan) has recently been prepared. Consultation ran until 8 March 2011. It sets out the borough's travel improvements in the short term (3 years) and long term (20 years).

This describes the existing situation in Southwark including the major redevelopment that is taking place at Elephant and Castle (p18).

At Section 4 the Plan sets out nine transport objectives to improve Southwark's transport. These are:

1. Manage demand for travel and increase sustainable transport capacity
2. Encourage sustainable travel choices
3. Ensure the transport system helps people to achieve their economic and social potential
4. Improve the health and wellbeing of all by making the borough a better place
5. Ensure the transport network is safe and secure for all and improve perceptions of safety
6. Improve travel opportunities and maximise independence for all
7. Ensure that the quality, efficiency and reliability of the highway network is maintained

8. Reduce the impact of transport on Southwark's air quality
9. Reduce transport's contribution to climate change

Section 5 contains the policies required to implement those objectives.

Residential Design Standards SPD (2008) and Draft Residential Design Standards SPD (March 2011)

The Residential Design Standards SPD was adopted in 2008. It is currently in the process of being updated to reflect new Core Strategy policies and density standards.

It provides the following general standards for all residential development:

1. Density standards
2. Different sized dwellings/dwelling mix
3. Minimum floor areas for different sized dwellings
4. Internal layout of dwellings
5. Outdoor amenity space
6. Daylight and sunlight
7. Privacy and security
8. Lifetime homes
9. Wheelchair housing

It provides additional standards specific to different residential types - for example flats, houses, conversions, extensions, conservation areas and listed buildings, affordable housing, other alterations to dwellings and gardens, living above shops, infill development, backland development, mixed-use development, live-work units and sheltered and student housing.

Sustainable Design and Construction SPD (2009)

It provides guidance on how new development in Southwark should be designed and built so that it has a positive impact on the environment. It covers the following topics:

1. Energy use and minimising climate change
2. Adapting to climate change that is unavoidable
3. Avoiding pollution and environmental nuisance
4. Avoiding waste and minimising landfill
5. Protecting and enhancing biodiversity
6. Conserving water
7. Planning for flood risk.

The document outlines general design principles that new development should follow and also sets minimum and preferred standards for each of the topics above.

Archaeology and Heritage Conservation SPGs (2002)

These are both draft SPGs that are due to be replaced. They provide guidance on the preservation and protection of archaeology, listed buildings and conservation areas.

Other Guidance

Guidance on Tall Buildings, CABE/English Heritage (2007)

This document acknowledges that in the right place, tall buildings can be positive (paragraph 1.1) but that local planning authorities should identify suitable locations where tall buildings are/are not appropriate (paragraph 2.4). Paragraph 2.7 require local planning authorities to:

“- carry out a character appraisal of the immediate context, identifying those elements that create local character and other important features and constraints, including:

1. natural topography
2. urban grain
3. significant views of skylines
4. scale and height
5. streetscape
6. landmark buildings and areas and their settings, including backdrops, and important local views, prospects and panoramas.
7. identify opportunities where tall buildings might enhance the overall townscape
8. identify sites where the removal of past mistakes might achieve a similar outcome

Having identified the constraints and opportunities through an urban design study, specific policies and locations should be included in development plan and supplementary planning documents clearly identifying, in map-based form, areas that are appropriate, sensitive or inappropriate for tall buildings. In some places, historic environment considerations may be of such significance that no tall buildings will be appropriate..”

PPS5 Practice Guide, DCLG/English Heritage/DCMS (2010)

The Practice Guide is intended to assist in the implementation of PPS5, including interpretation of its policies. As such, it expands upon the policies contained within the PPS.

It reinforces the significance embodied by heritage assets and the need for policy to conserve these assets by supporting their maintenance and by requiring managed change that sustains and/or enhances their heritage significance (para 1.1). It stresses the importance of applicants and local authorities understanding significance, its extent and level of importance in each particular case (para 17).

The Setting of Heritage Assets, English Heritage (Consultation Draft 2010)

The document defines setting as follows:

“... it is clear that the extent of setting is not fixed and may change as an asset and its surroundings evolve or as understanding of the asset improves. It embraces all of the surroundings (land, sea, structures, features and skyline) from which the asset can be experienced of that can be experienced from the asset.”

The document outlines a range of issues, the consideration of which assist in understanding and establishing how setting contributes to significance and heritage values. These include consideration of location; landscape; topography; functional and aesthetic relationships between the asset and its setting; views; non-visual sensory influences; and the contribution of past change (para 40).

The document includes guidance on assessing the implications of change affecting setting, based on an evaluation of what may be lost, gained or left unaffected as a result of change (paragraph 42). It recommends assessment based on scale, massing, prominence, specific location and design

(paragraph 49). The document also states the need to assess the cumulative impact of incremental small to medium scale change (paragraph 55).

Understanding Place: Historic Area Assessments: Principles and Practice, English Heritage (2010)

Understanding Place: Historic Area Assessments: Principles and Practice outlines the role of Historic Area Assessment in achieving an in-depth understanding of an area's character and significance through historic characterisation. Evaluation reveals why a historic environment has assumed its present form and highlights its more significant elements. Historic Area Assessment results in the gathering of a firm evidence base which may inform plans and decision-making.

Understanding Place: Historic Area Assessments In a Planning and Development Context, English Heritage (June 2010)

This document explains how to undertake Historic Area Assessments (HAA) and complements the above document. It notes that HAA provides a sound evidence base for plan-making and decision making. It states that HAAs can be undertaken at three levels:

1. Outline (Level 1)
2. Rapid (Level 2)
3. Detailed (Level 3)

In terms of matching levels to circumstances it explains:

Outline assessments are most suitable for covering a large area very quickly; when the historic environment survives only fragmentarily; preliminary scoping; where a local planning authority needs to acquire baseline information.

Rapid assessments are most suitable for areas with heritage assets that have been identified as significant; complex settlement forms; where there is a high level of integrity in the historic environment.

Detailed assessments are most suitable for historic town and village centres where individual buildings have a complex development history which needs to be understood to identify type, date and form.

Seeing The History In The View: A Method For Assessing Heritage Significance Within Views, English Heritage (May, 2011)

This sets out English Heritage's approach to establishing how the heritage significance of views can be assessed in a systematic and consistent way. The methodology contained within the document will be used by English Heritage when coming to its decision in relation to development affecting views. It is therefore of relevance to planning authorities and developers when dealing with development proposals.

Policy 12: Design and Conservation Tall Building Background Paper (June 2010)

This document sets out the background and research that has informed the suitable locations for tall buildings, established in Policy 12 and supporting text within Southwark's Core Strategy. It summarises the evidence base, describes the strategy and the reasons for selecting the approach taken. This document should be read with the Core Strategy: Borough-wide Strategic Tall Building Study (CDD1) and Bankside, Borough and London Bridge: Stage 1 - Tall Building Study (CDD2).

The strategy requires tall buildings to be of the highest possible standard of design and to make a positive contribution to regenerating areas and to create unique places while ensuring that new development conserves or enhances the significance of the historic environment, heritage assets and their setting, in accordance with Planning Policy Guidance PPS 5 (para.3.15).

The Core Strategy identifies that locations where tall buildings could be accommodated are in London Bridge, the northern end of Blackfriars Road, Elephant and Castle and action area cores. While tall buildings could be accommodated in these locations there are likely to be areas sensitive to tall buildings in these locations (para. 3.16).

The borough-wide study is a strategic study and general overview of the borough and identifies broad locations where tall buildings could be accommodated and should not go and where they could be sensitive. Further detailed analysis of specific areas and the local considerations which will impact on the location and design of tall buildings can be found in area specific policy documents, background research papers, conservation area and character area appraisals (para. 3.23).

Core Strategy: Borough-wide Strategic Tall Building Study (July 2010)

This document sets out the approach and analysis to establish where tall buildings could be accommodated in Southwark, where they could not be accommodated and where they could be sensitive.

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